

Site Plan Review Committee (SPRC) Meeting #2

July 25, 2024

Crystal City Block W

2451 Crystal Drive

Project Website:

<https://www.arlingtonva.us/Government/Projects/Project-Types/Site-Plan/2451-Crystal-Drive-%E2%80%93-Crystal-City-Block-W>

Presentation Agenda Topics

- General Project Updates
- Open Space (part #2)
- Transportation
- Community Benefits & Sustainability
- Review of Project's Conformance with Sector Plan Guidance
- Process & Next Steps

BLOCK W

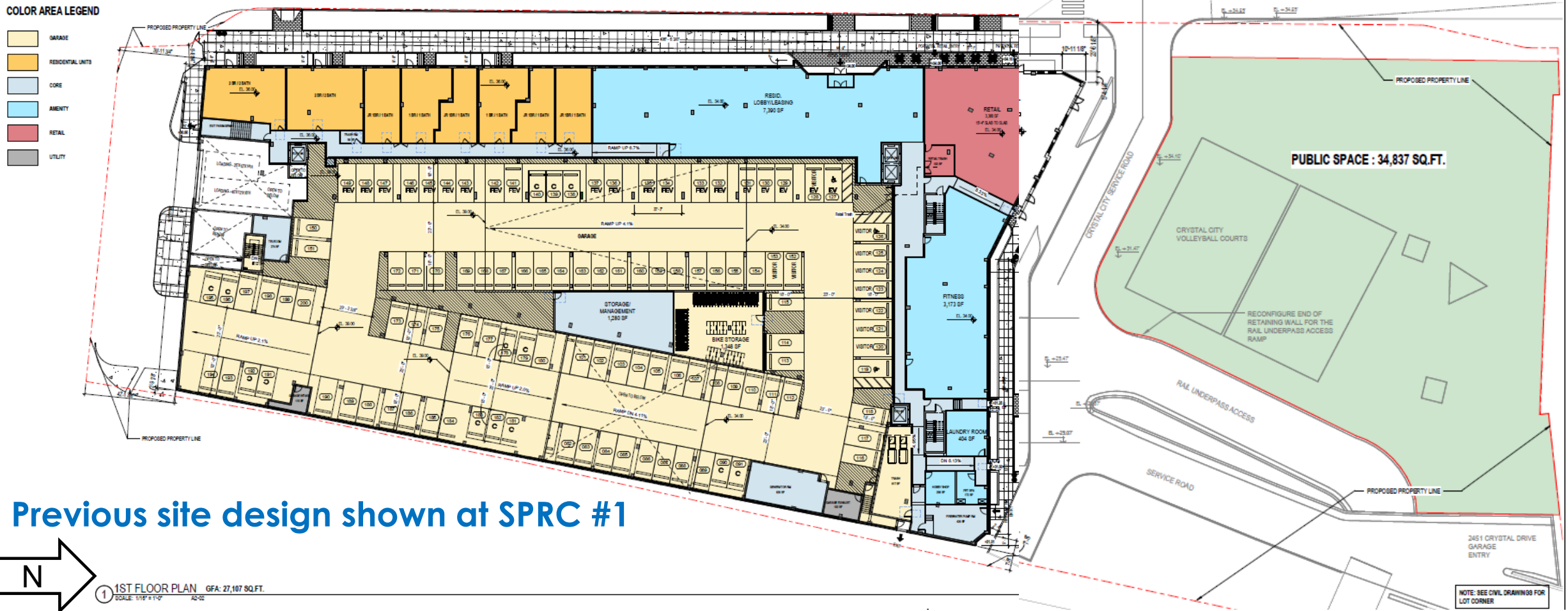


Development Proposal

- **Rezoning:** rezone the area of the new site plan for Block W from “C-O-1.5” Mixed Use District to “C-O Crystal City”
- **Crystal City Block Plan:** new Block Plan for “Block W” as required by the proposed rezoning
- **Site Plan Amendment (SP #167):** site plan amendment to remove 175,133 sq. ft. from the existing SP #167
- **New Site Plan (SP #475):** a new site plan and development proposal to construct a 7-story mixed-use building with 370 residential units and 3,360 sq. ft. of ground floor retail

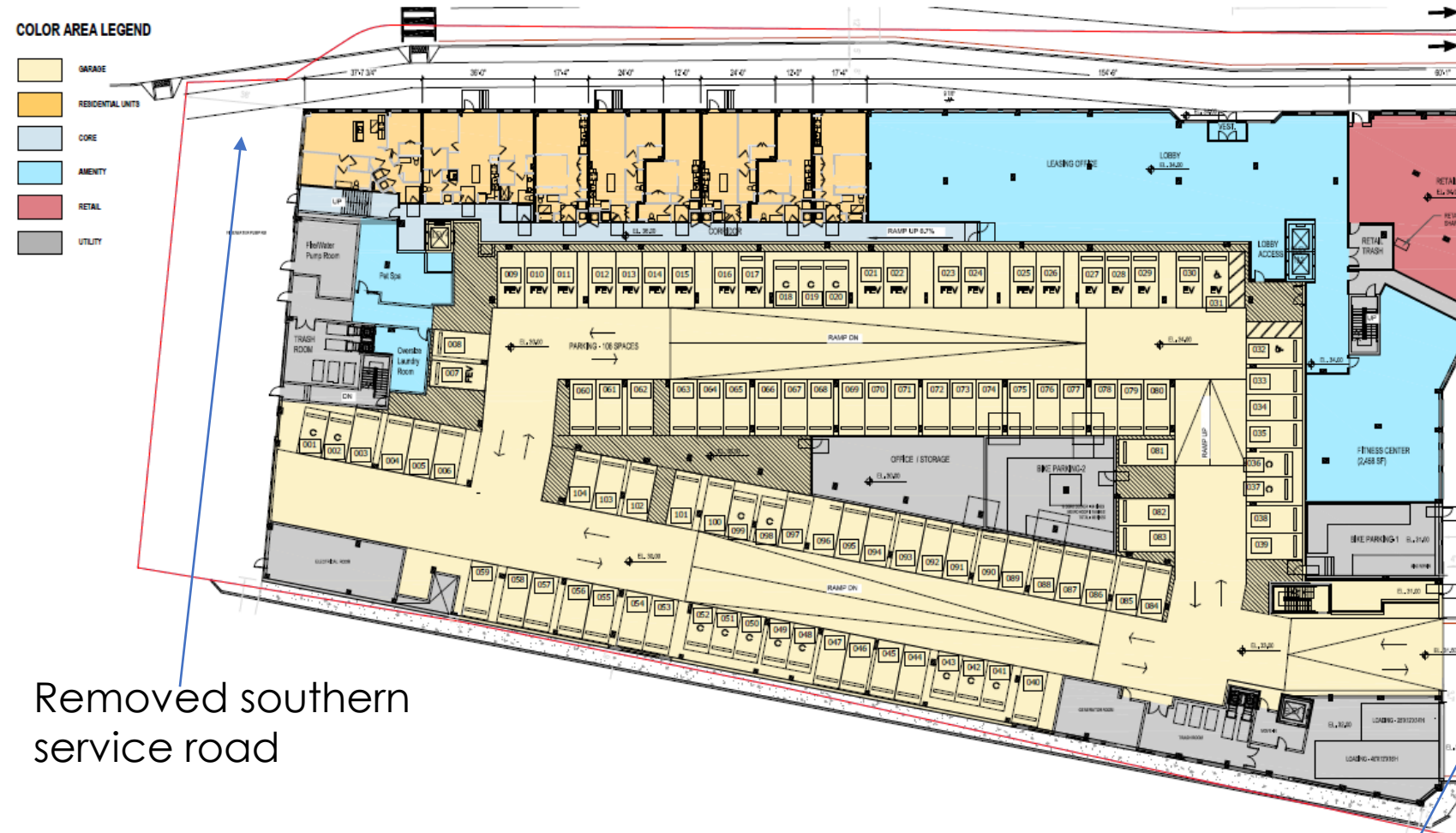
Project Updates

- Revised site design
 - Removed southern service access road and relocated parking and loading access to northeast corner of building



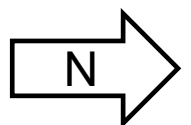
Previous site design shown at SPRC #1

Project Updates



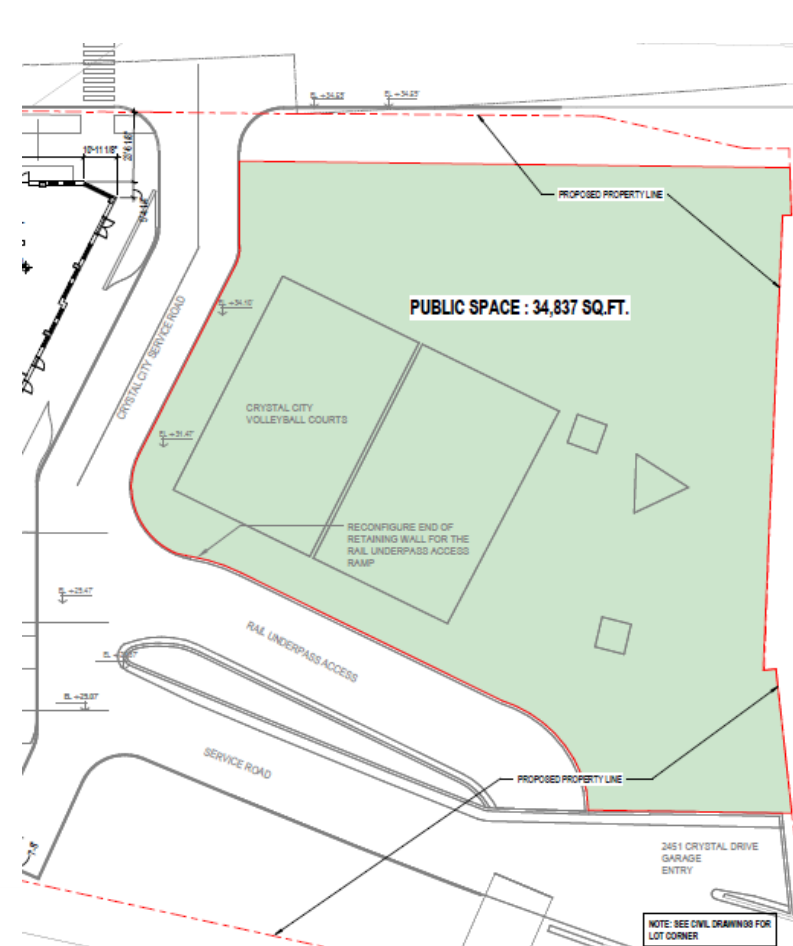
Revised site design

Parking/loading relocated here

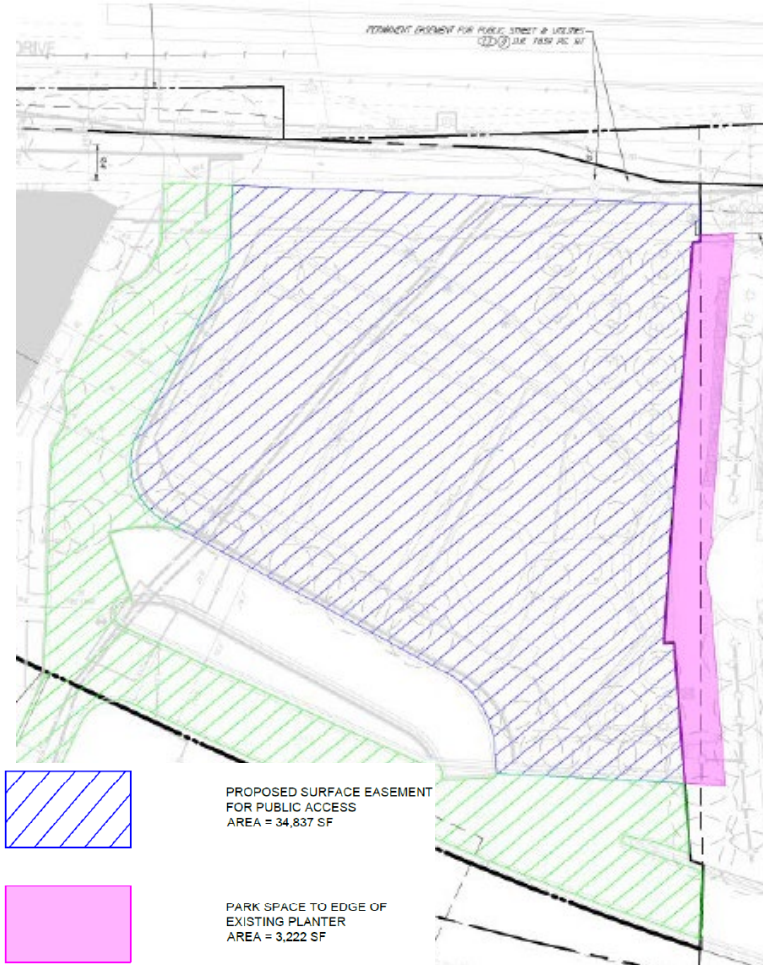


Open Space (...continued from SPRC #1)

- Evolution of size of public open space



Original Proposal / Total area: **34,837 SF**



SPRC #1 Proposal / Total area: **38,059 SF**

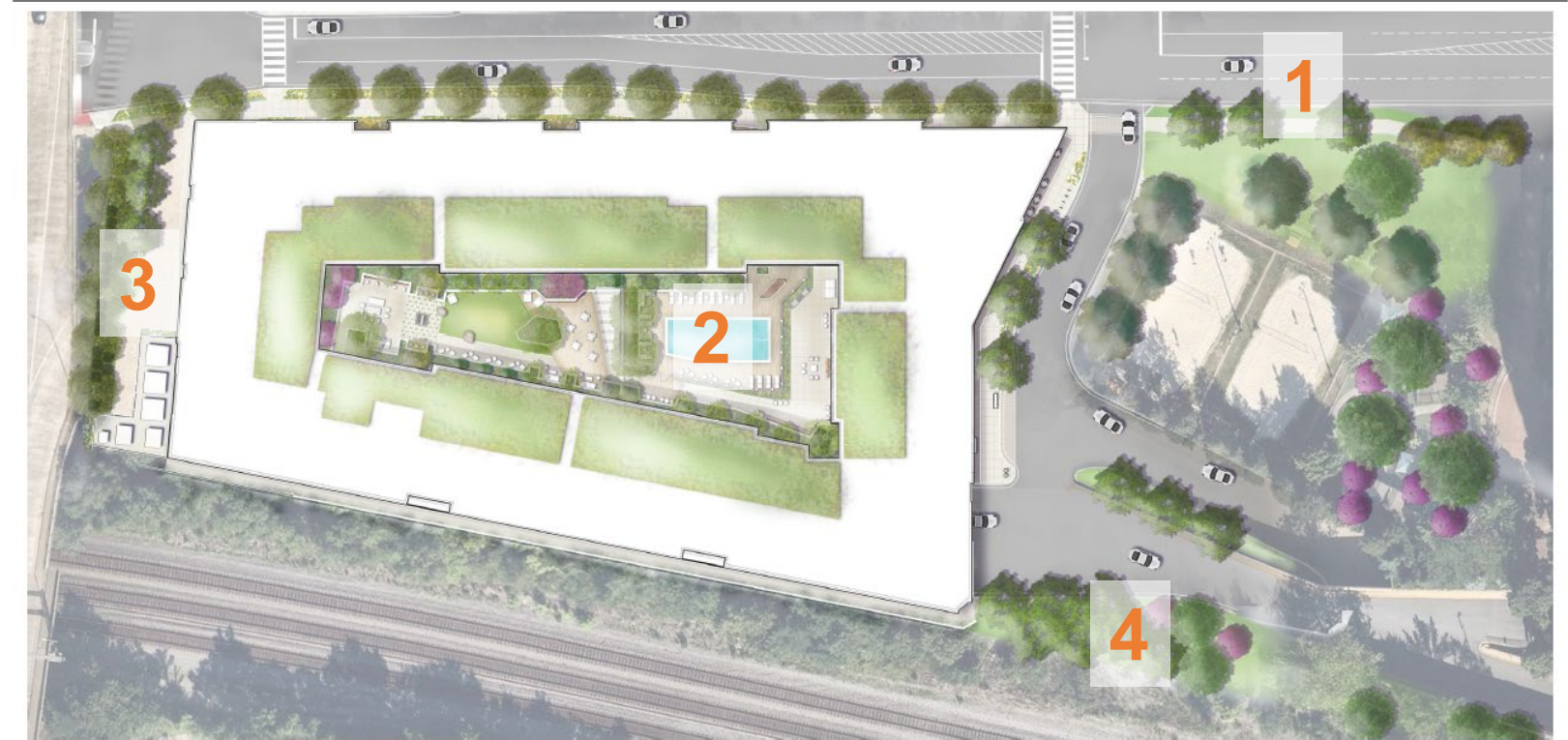


Current Proposal / Total area: **38,085 SF**

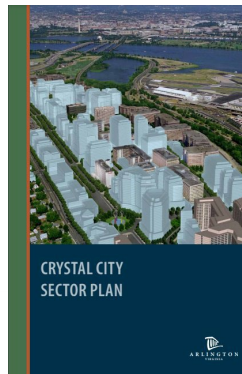
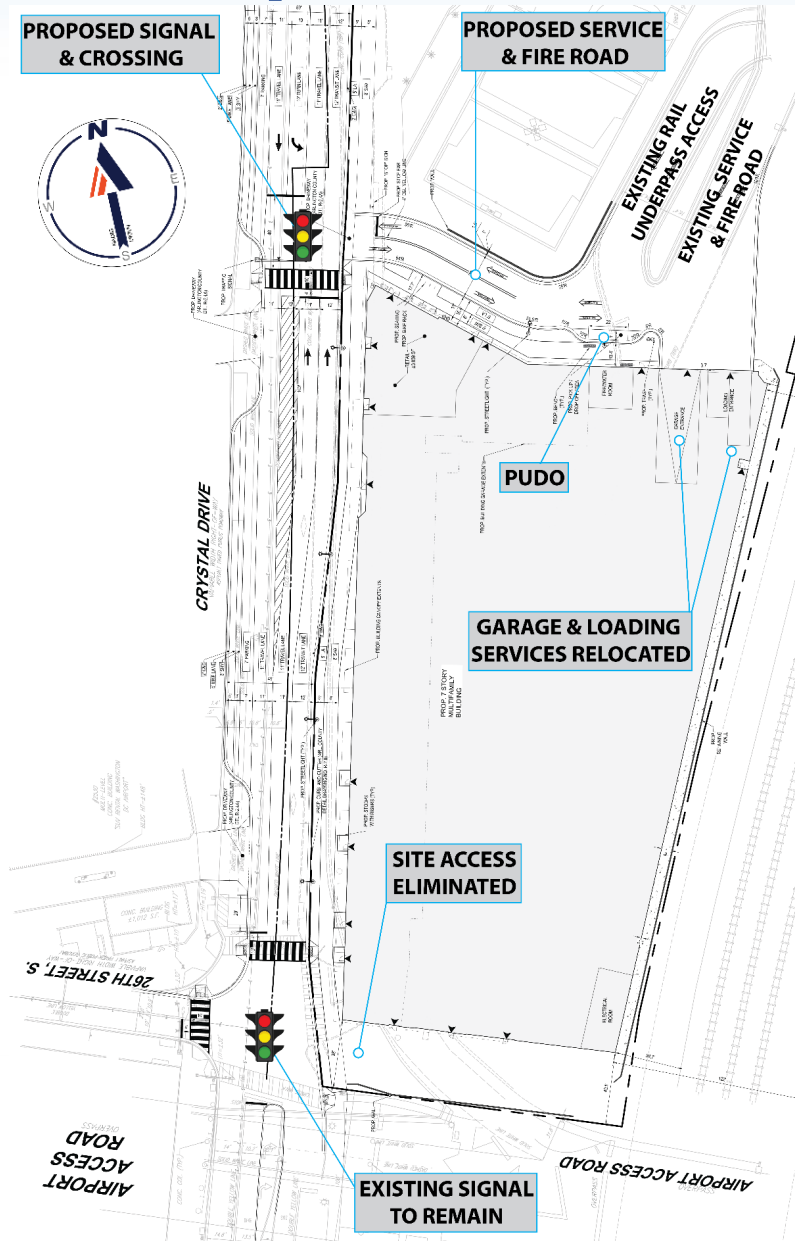
Open Space (...continued from SPRC #1)

- Potential topics for SPRC discussion:
 1. Street trees
 2. Courtyard amenity space details
 3. Newly proposed landscaping on southern building frontage
 4. Possible landscape buffer zone east of service road/access tunnel

OVERALL SITE CANOPY



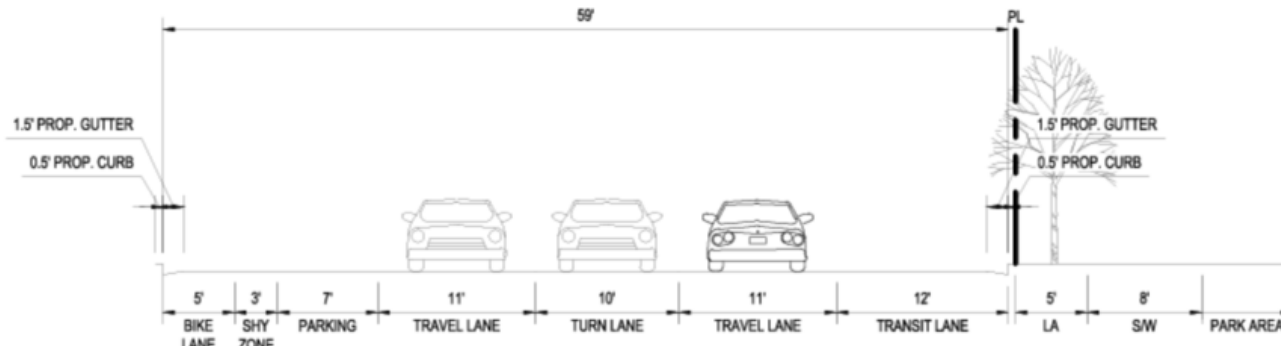
Transportation – Site Access



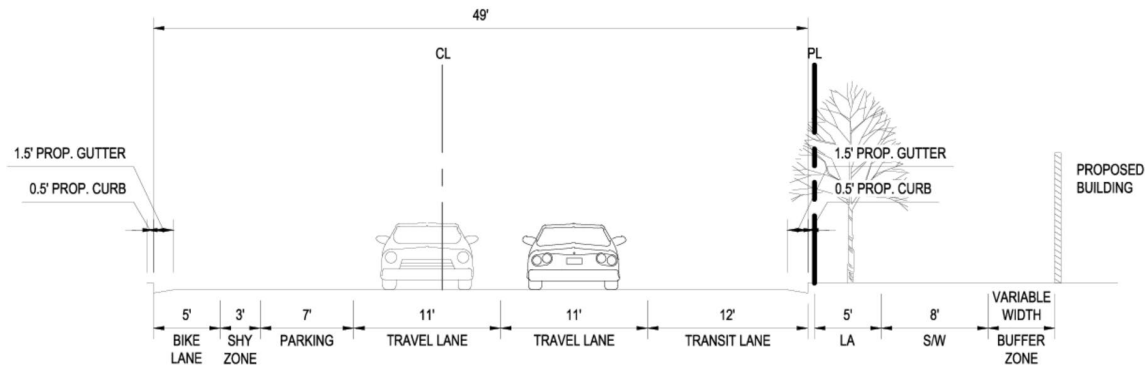
Ramp Removal subject to approval from all authorities including VDOT 8

Transportation - Crystal Drive

CURRENT DESIGN



Approx. 59' FOC-FOC
5' Tree Pit + 8' Clear S/W + Buffer Zone

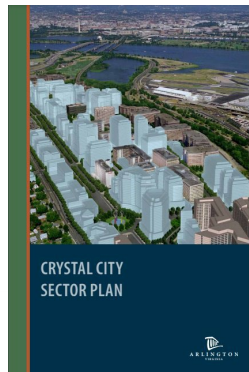
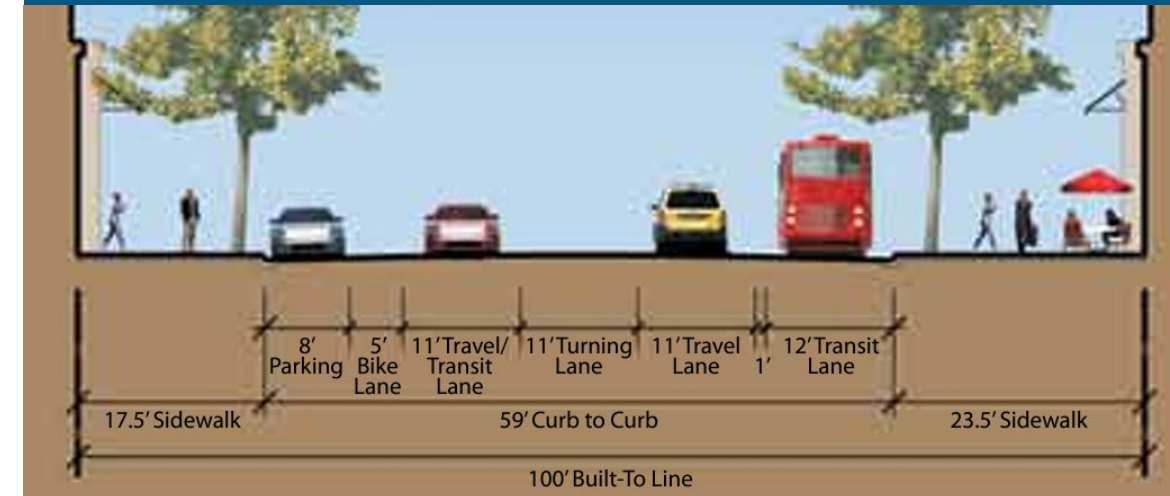


PROPOSED "CRYSTAL DRIVE" CROSS SECTION A-A'
LOOKING NORTH

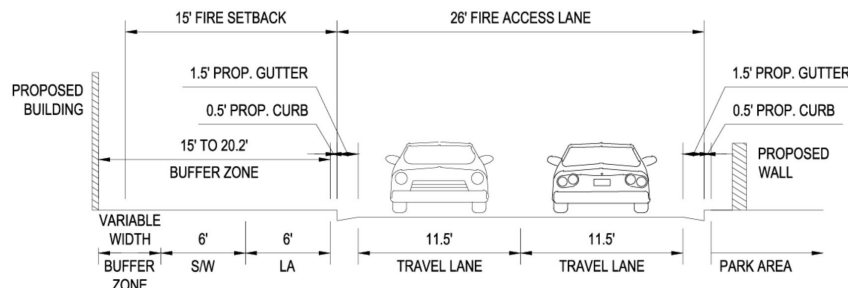
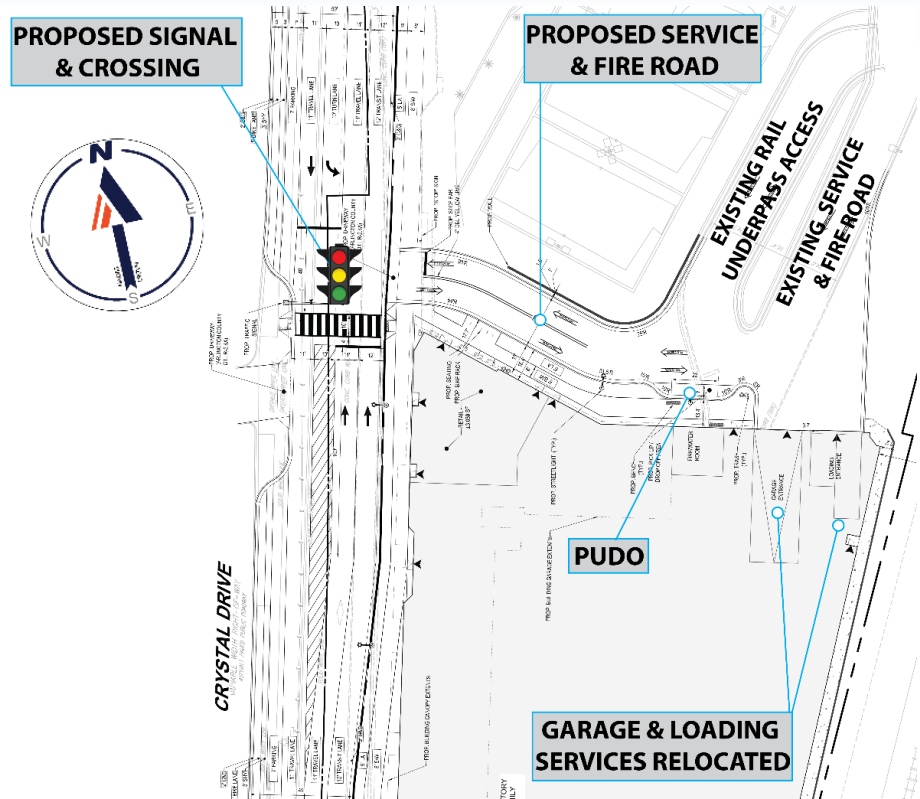
SCALE: 1"=10'

Approx. 49' FOC-FOC
5' Tree Pit + 8' Clear S/W + Buffer Zone

B-B' - CRYSTAL DRIVE - NORTH OF 23RD STREET S



Transportation – Parking & Loading



Service Drive

- 26' FOC-FOC Service
 - 15'-20' Streetscape
 - 6' Tree Pit
 - 6 Clear S/W
 - Buffer Zone

Garage – 104 spaces

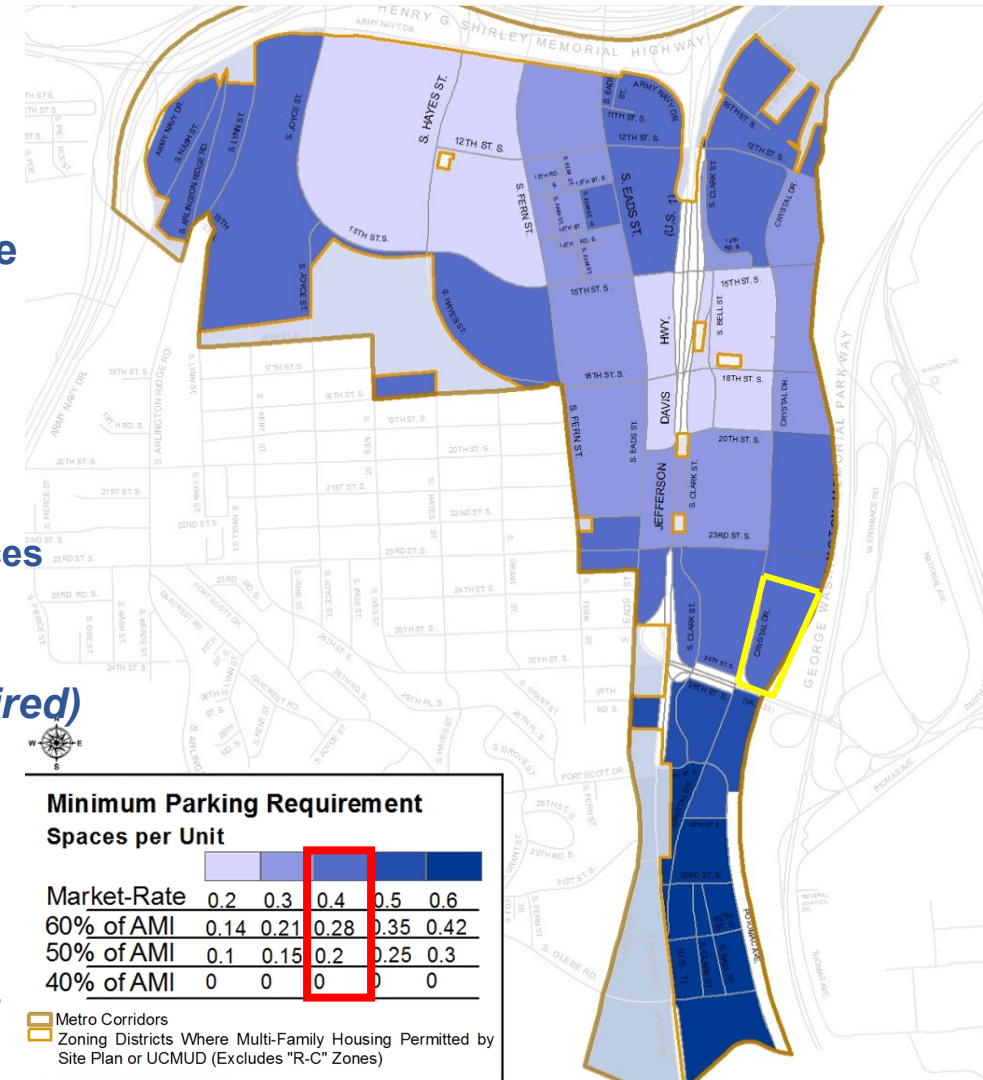
- Previously 200 spaces

2 Loading spaces (3 required)

- 40'x12' Bay
- 25'x12' Bay

PUDO - 1 space

- Previously 2 spaces



Community Benefits

- Affordable Housing:
 - On-site Committed Affordable Units
- Green Building:
 - LEED Gold certification for 0.25 FAR
- Public Park/Open Space Easement for Crystal Park
- Plus, other potential improvements or benefits
- Plus, all *standard* site plan benefit contributions

2525 Crystal Drive - Proposed Zoning Tabulations	
Site Area	175,133
Base Density	
Retail @1.5 FAR (sf GFA)	0
Residential @ 72 un/ac (units)	289
Residential (sf GFA)	296,287
Green Building Bonus @ 0.25 FAR	
Retail (sf GFA)	0
Residential (units)	42
Residential (sf GFA)	43,783
Remaining Bonus	
Retail (sf GFA)	3,360
Residential (units)	39
Residential (sf GFA)	39,259
Total	
Retail (sf GFA)	3,360
Residential (units)	370
Residential (sf GFA)	379,329

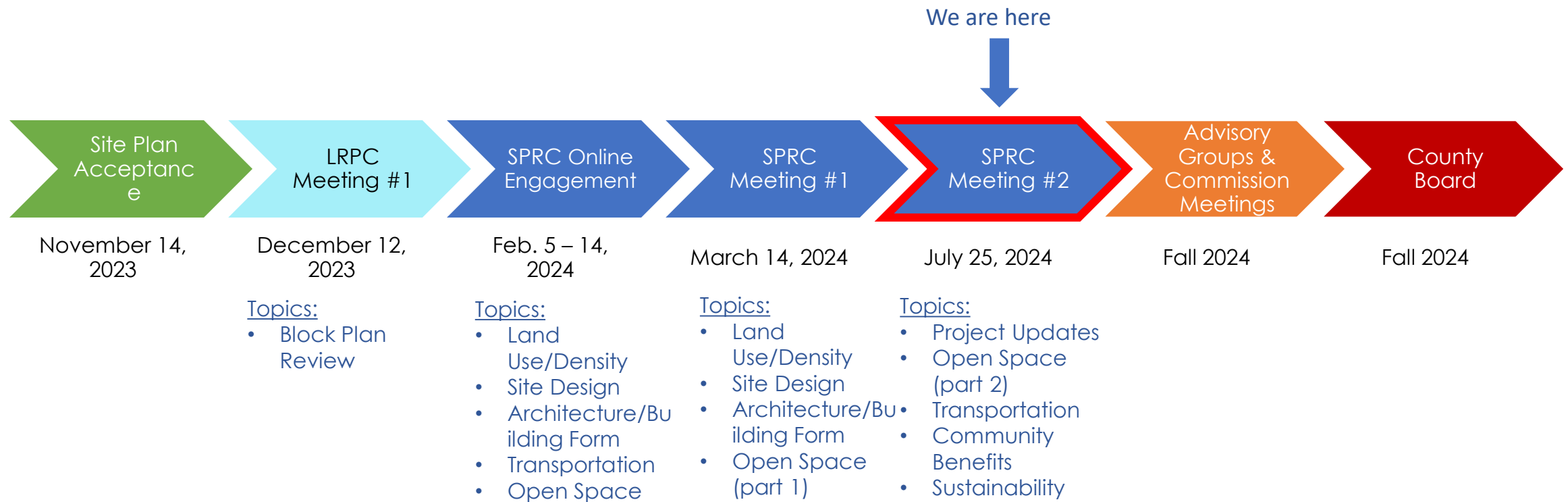
Crystal City Sector Plan Guidance

Topic	Guidance
Land Use Mix	Residential, commercial, hotel, or mixed-use
Base Density	72 dwelling units/Acre residential / 1.5 FAR commercial
Building Height	Maximum of 200 feet
Retail	Locate on northwest corner
Open Space	Minimum of 38,000 square feet
Service & Loading Access	Locate on eastern frontage
Architectural Features	Locate on southern façade and a coordinated frontage on northern façade
Building Envelope	Building form composition of podium, middle, and top with setbacks/tapering

 Compliant with Sector Plan

 Deviation from Sector Plan

Public Review Process and Schedule



Anticipated schedule is subject to change based on nature of public feedback and guidance from Planning Commission

More Information

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PROJECT WEBSITE:

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SPRC Discussion Topics

- Project Updates: revised site design
- Open Space Part 2:
 - Size of contiguous park space
 - Street trees
 - Southern landscaping
 - Potential landscape buffer zone
- Transportation:
 - Ramp removal update
 - Site access
 - Streetscape sections
 - Parking & loading
- Community Benefits
- Sustainability & Biophilic Design