



BARCROFT APARTMENTS PHASE RA2 REHABILITATION INCLUDING ALTERATIONS

SECTION 3 BUILDINGS 27-29

SECTION 4 BUILDINGS 30-31

1130 S GEORGE MASON DR.
ARLINGTON, VA 22204

DRC SUBMISSION #1

FEBRUARY 19, 2025

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EHT TRACERIES, INC.
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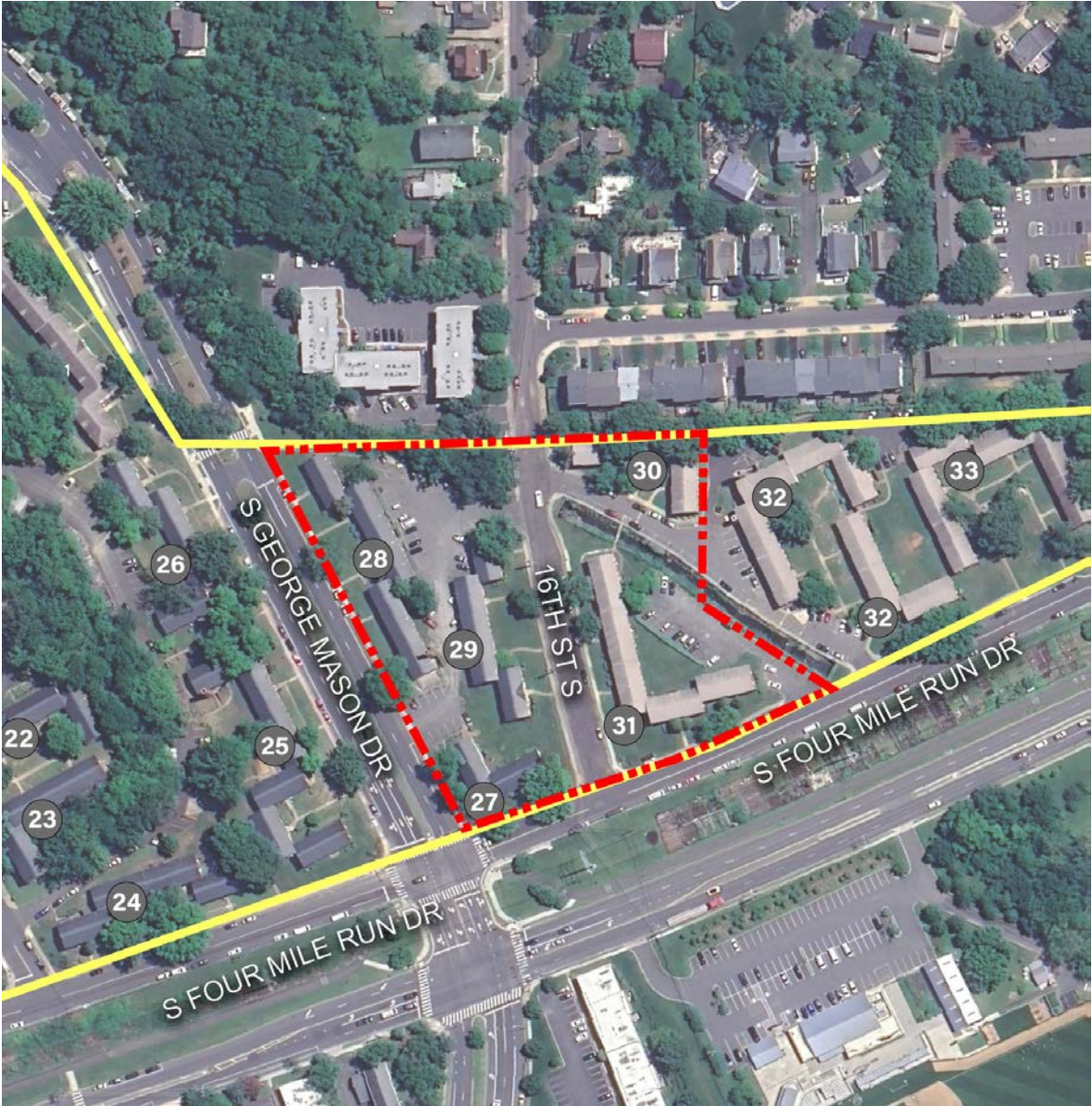
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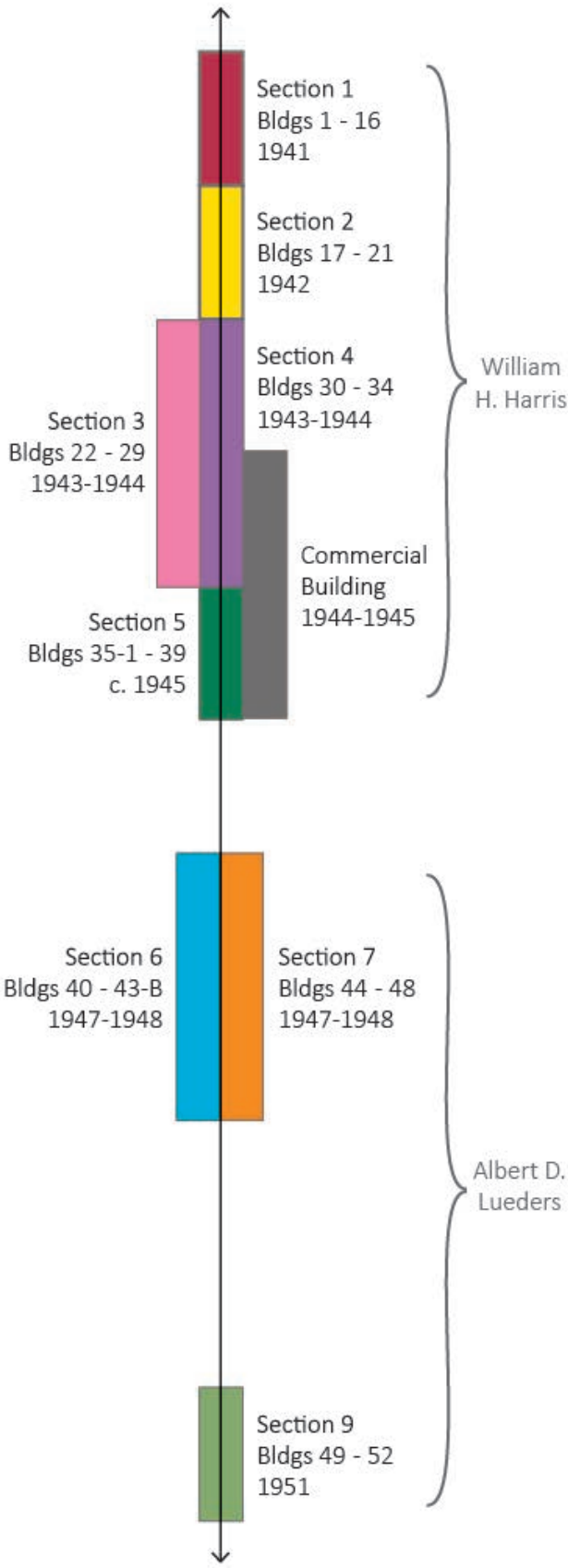
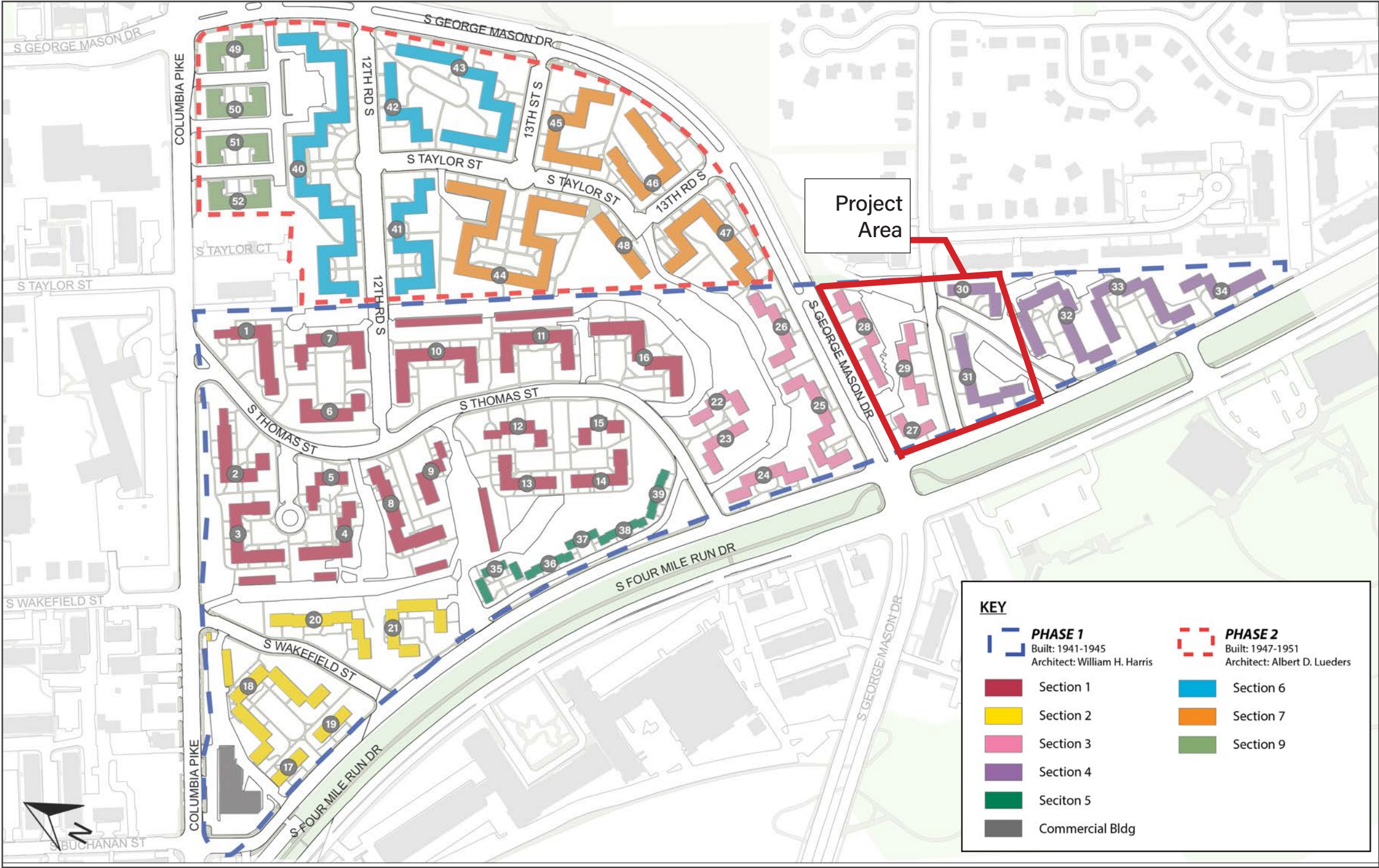
BUILDING 3123

TYPICAL PENETRATIONS LOCATION 25

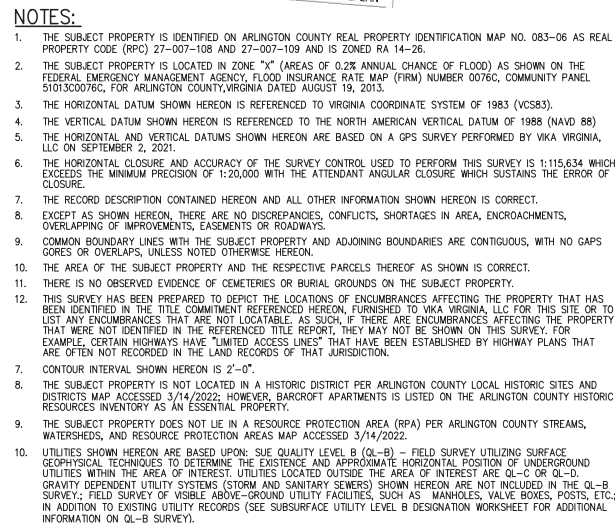
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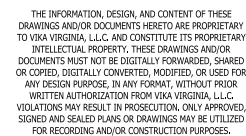
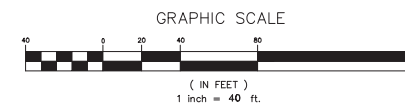






CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG
C1	36.65'	25.00'	084°00'15"	2.851'	N01°32'29"E 33.46'
C2	406.61'	2552.90'	090°07'32"	203.73'	S59°26'37"W 406.18'
C3	36.69'	25.00'	084°04'57"	22.54'	N83°04'41"W 33.48'
C4	88.18'	8769.18'	000°34'34"	44.69'	N40°44'55"W 88.18'
C5	42.70'	25.00'	057°52'06"	28.08'	N06°14'07"E 37.70'
C6	383.17'	2502.90'	008°46'17"	191.96'	N59°33'18"E 382.80'
C7	13.10'	43.09'	017°25'34"	6.60'	S76°11'24"W 13.05'
C8	35.81'	596.20'	003°26'29"	17.91'	S18°31'57"W 35.81'
C9	36.70'	387.70'	005°52'27"	18.36'	S16°40'35"W 36.69'
C10	21.57'	1096.37'	001°07'37"	10.79'	S14°08'40"W 21.57'
C11	121.08'	720.44'	009°37'44"	60.69'	S10°34'04"W 120.94'
C12	11.63'	11.44'	058°05'24"	6.37'	N29°39'15"E 11.14'
C13	267.78'	10419.00'	001°28'21"	133.90'	N43°26'07"W 267.77'

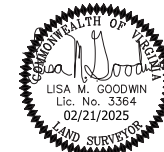
27-007-108	88,480 SF OR 2.03122 AC
27-007-109	72,356 SF OR 1.66106 AC
TOTAL AREA	160,836 SF OR 3.69228 AC



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ARLINGTON COUNTY, VIRGINIA

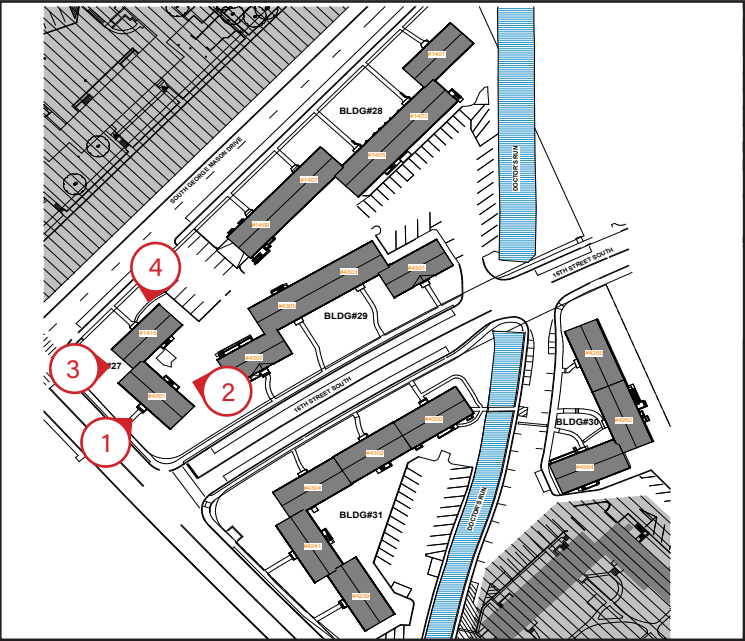
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DESIGNED BY: _____
DATE ISSUED: 02/21/2025

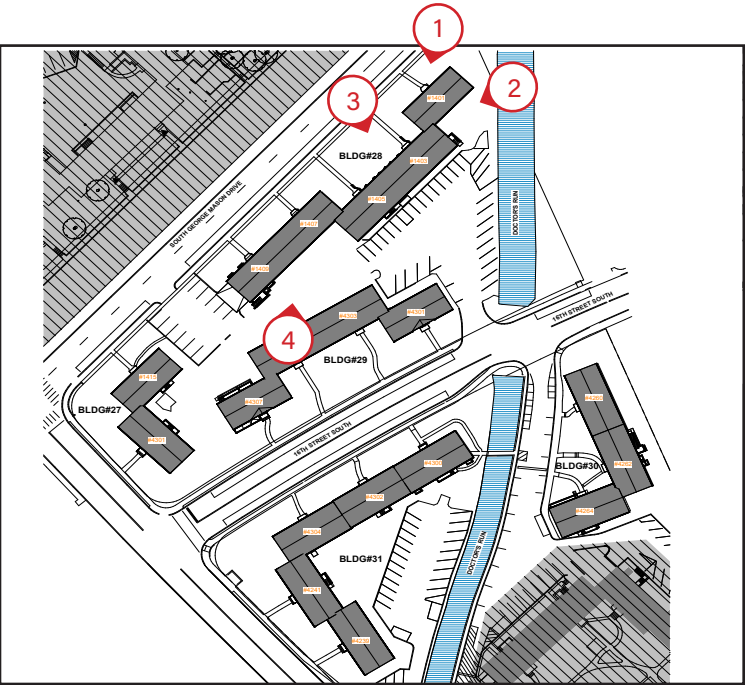
DWG.
SCALE: 1"=40'

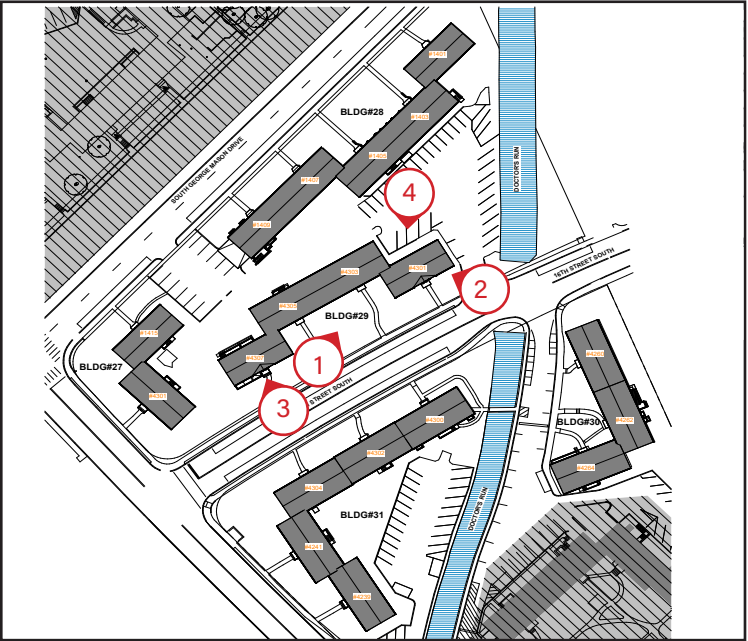
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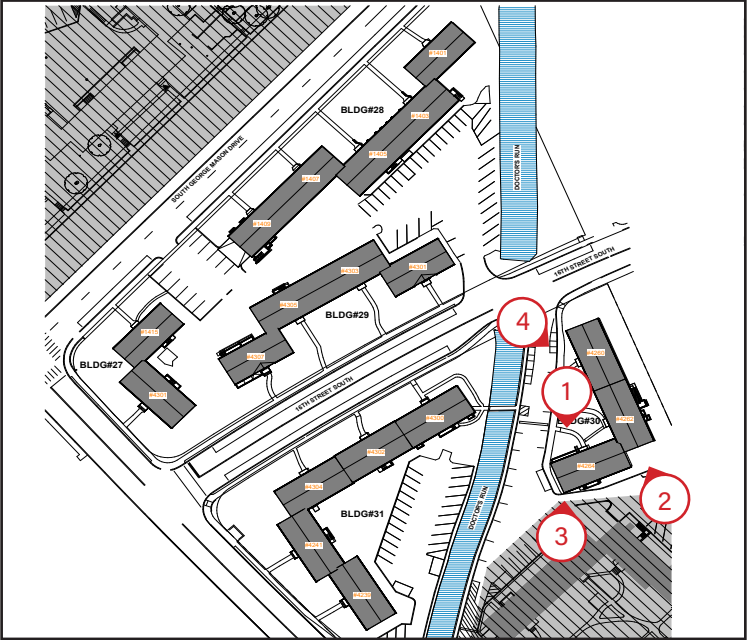
SHEET C-02

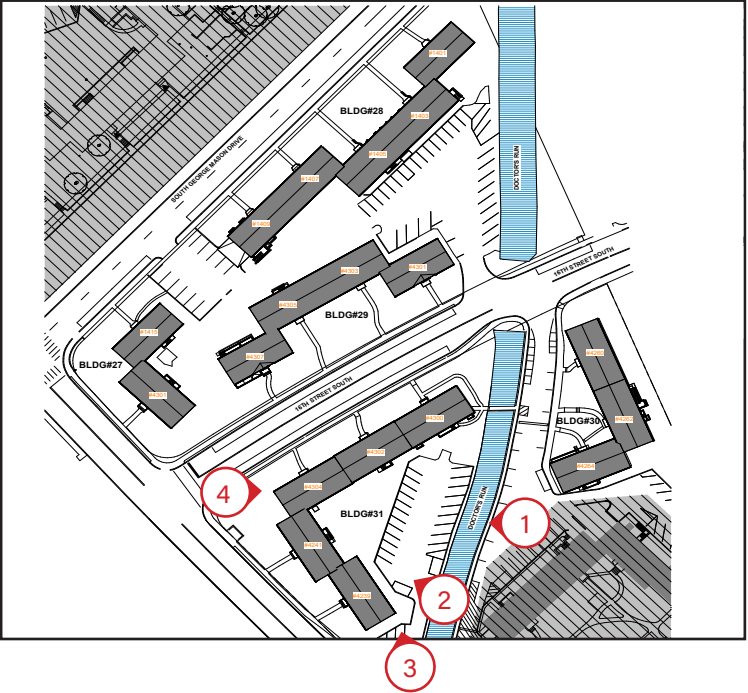
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Scope of Work

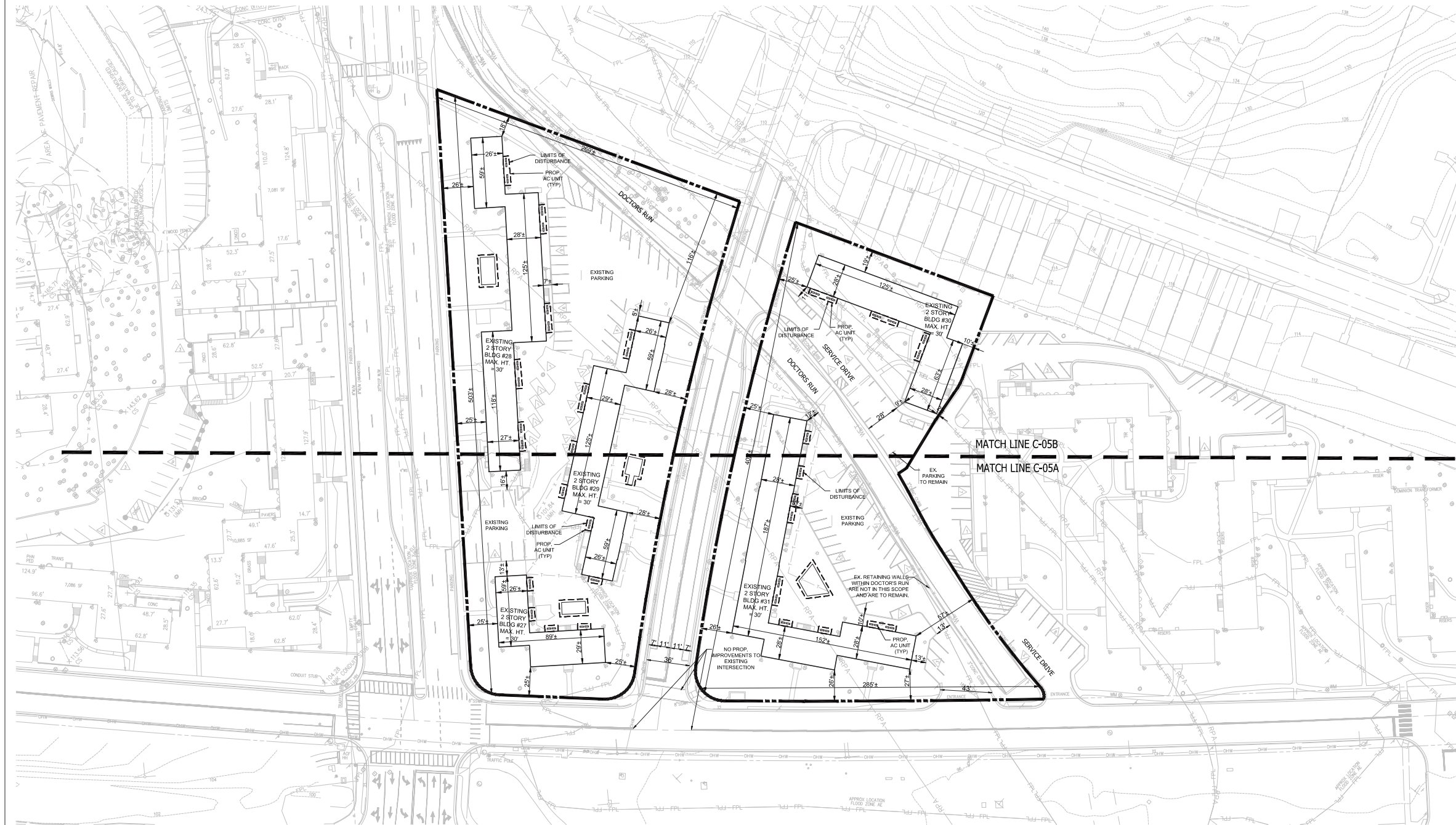
The proposed project involves the rehabilitation of five existing buildings, including Buildings # 27-29 located within Section 3 and Buildings #30-31 located within Section 4. The buildings will be rehabilitated consistent with the Arlington County Conservation Area Standards, which are based upon the Secretary of the Interior’s Standards for Rehabilitation. The project must also adhere to the Virginia Housing Minimum Design and Construction Requirements (MDCR).

The project scope of work includes:

- Repair of exterior masonry (including brick and cast stone); Repoint deteriorated mortar where necessary matching the existing size, shape, color, and texture. Repaint previously painted brick as necessary.
- Gently clean and wash all existing brick facades with low- to medium-pressure adhering to the Secretary of the Interior’s Standards.
- Replacement of basement-level steel-sash windows with aluminum windows matching the original configuration.*
- Installation of interior storm windows at existing wood windows.
- Replacement of wood windows with aluminum-clad windows where necessary for egress.
- Removal and replacement of existing mechanical systems including existing through-wall mechanical system openings. Patch exterior wall to match surrounding brick.
- Addition of new exhaust penetrations.*
- Removal and replacement of non-original light fixtures with new compatible fixtures.
- Repair slate roofs as necessary.
- Repair and paint existing metal railings.
- Repair and paint existing non-original shutters.
- Repair and paint building entry doors and frames.
- Repair and paint all steel lintels.
- Repair and paint existing wood fascia and trim.
- Replace damaged louvered attic vents in-kind and paint wood louvers.
- Addition of outdoor amenity spaces and landscape improvements within courtyards adjacent to Buildings 27, 28, 29, 31.

* Conservation Area standard modification necessary in order to meet MDCR requirements.





NOTE

- PROPOSED HVAC UNITS SHOWN ARE CONCEPTUAL AND WILL BE FINALIZED AT TIME OF SITE PLAN

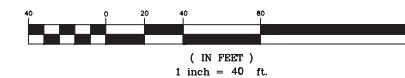
LEGEND

 EXISTING BUILDING TO REMAIN
 LIMITS OF CLEARING AND GRADING

LAYOUT: C-05, Plotted By: johnson



GRAPHIC SCALE



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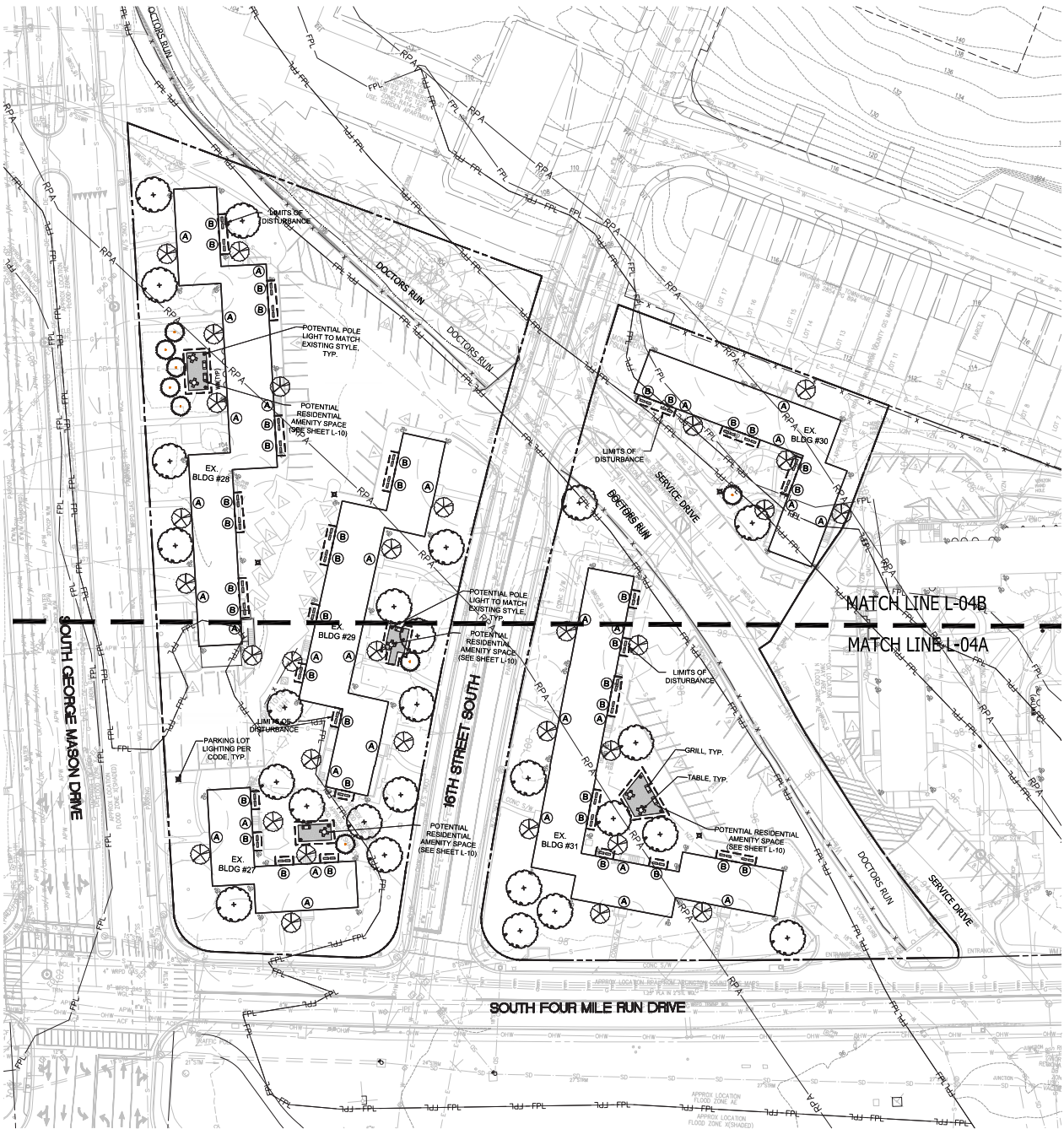
BARCROFT - RA2

4.1.2 USE PERMIT

PRESENTATION PLAN

DRAWN BY:	
DESIGNED BY:	
DATE ISSUED:	02/21/2025
DWG. SCALE:	1"=40'
VIKA NO.	VV8340N
SHEET NO.	C-05

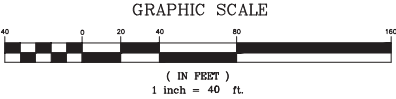
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- LANDSCAPE LEGEND:**
- EXISTING TREE TO REMAIN (SEE SHEETS L-01 AND L-02)
 - ✕ EXISTING TREE TO BE REMOVED & REPLACED (SEE SHEETS L-01 AND L-02)
 - ⊗ PROPOSED CANOPY/ SHADE TREE
 - ⊕ PROPOSED UNDERSTORY / ORNAMENTAL TREE
 - Ⓐ PROPOSED PLANTING TREATMENT AT ENTRIES (SEE SHEET L-05 FOR DETAIL)
 - Ⓑ PROPOSED AC UNIT LOCATIONS, TYP. (SEE SHEET L-05 FOR DETAIL)

- NOTES:**
- PROPOSED LANDSCAPE ELEMENTS SHOWN HEREON ARE CONCEPTUAL IN NATURE AND PROVIDED TO CONVEY INTENT—FINAL PLANT LOCATIONS AND QUANTITIES MAY CHANGE AT TIME OF COUNTY LANDSCAPE PLAN SUBMISSION.
 - WITHIN THE LIMITS OF DISTURBANCE SHOWN, PROPOSED LANDSCAPE CHANGES ARE LIMITED TO NEW PLANTINGS, REMOVAL OF DEAD/DYING PLANT MATERIAL, MINOR EROSION CONTROL, LAWN RESTORATION, POTENTIAL NEW "TRAILS", ETC. RECONSTRUCTION OR REPAIR OF DETERIORATING WALLS AND/OR SIDEWALKS WILL BE PERFORMED IN-PLACE AND BE IN-KIND.
 - A DETAILED ROOT PROTECTION PLAN—TO BE IMPLEMENTED DURING CONSTRUCTION—WILL BE DEVELOPED AT TIME OF FINAL CEP AND LA PLAN SUBMISSION.
 - PARKING LOT LIGHTS WILL BE PROVIDED TO MEET COUNTY CODE.
 - TREES SHOWN WITHIN THE LIMITS OF WORK WHICH ARE TO BE PRESERVED WILL HAVE TREE PROTECTION FENCING INSTALLED IN ACCORDANCE WITH COUNTY STANDARDS. THE FINAL TREE PRESERVATION PLAN WILL BE REVIEWED WITH THE CEP SUBMISSION.
 - LOW-IMPACT PATHWAY IMPROVEMENTS TO/FROM INDIVIDUAL UNITS MAY BE UNDERTAKEN, AS NECESSARY, TO PROVIDE CONVENIENT ACCESS TO PARKING.

- TREE REPLACEMENT TABULATION :**
- TOTAL EXISTING TREES TO BE REMOVED = 0
(SEE SHEET L-01 & L-02 FOR DETAILS)
- TOTAL REPLACEMENT TREES REQUIRED = 0
- TOTAL CANOPY CREDIT REPLACEMENT TREES = 26
(26 CANOPY TREES @ 1:1 = 26, AND
9 UNDERSTORY TREES @ 3:1 = 3)



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PLAN STATUS	DATE
USE PERMIT 1ST SUBMISSION	02/21/2025

POST-APPROVAL SHEET STATUS	DATE
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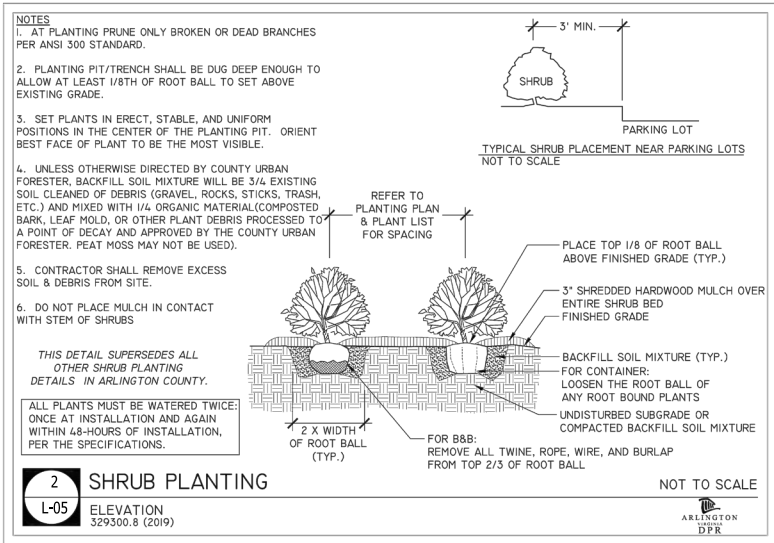
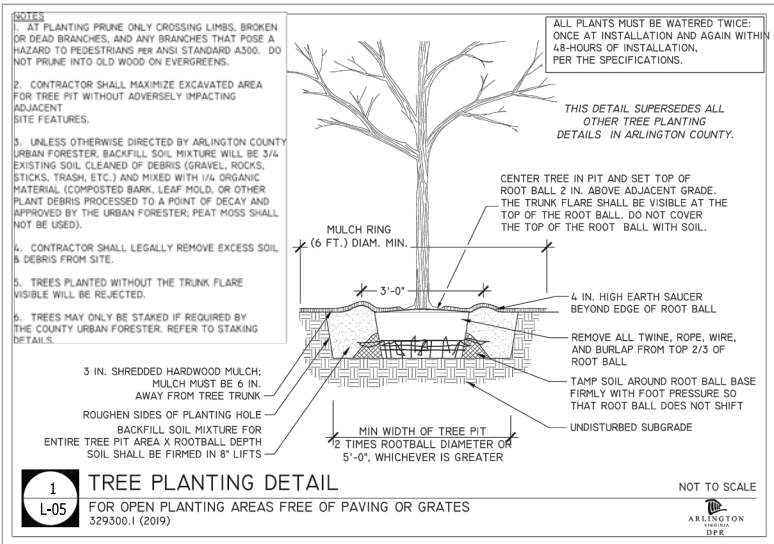
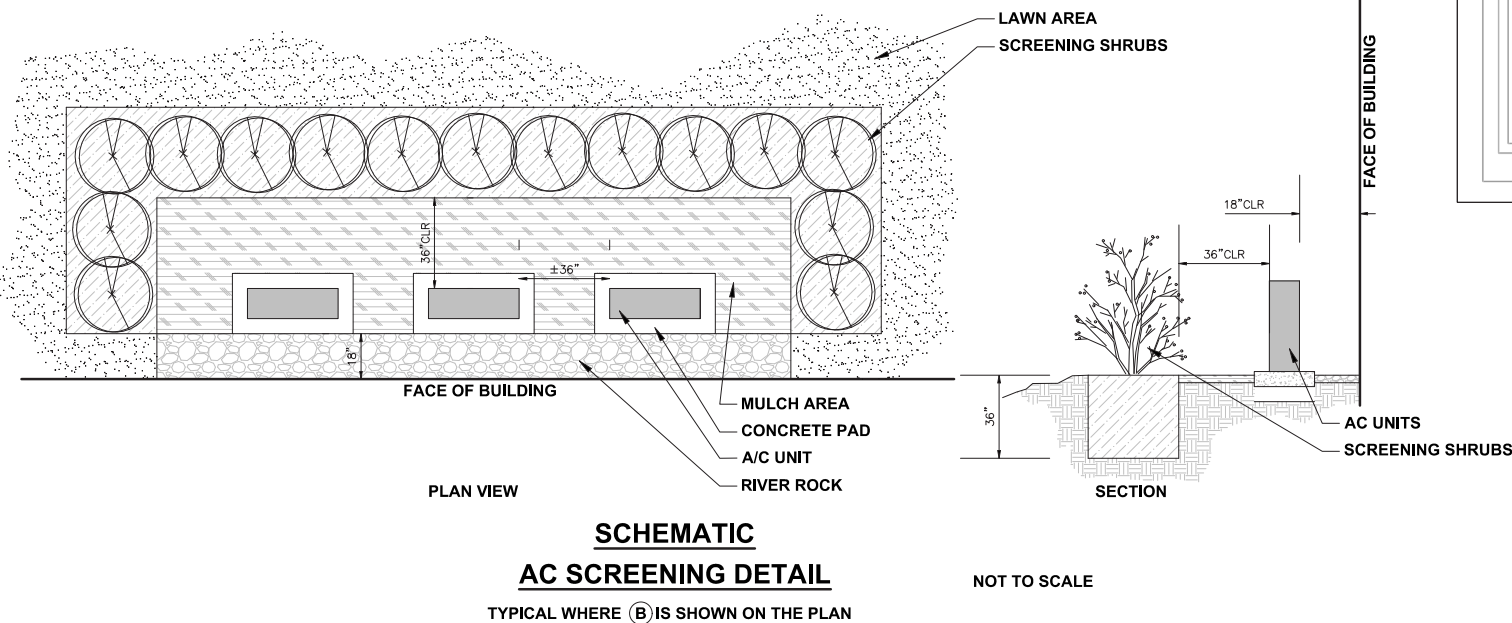
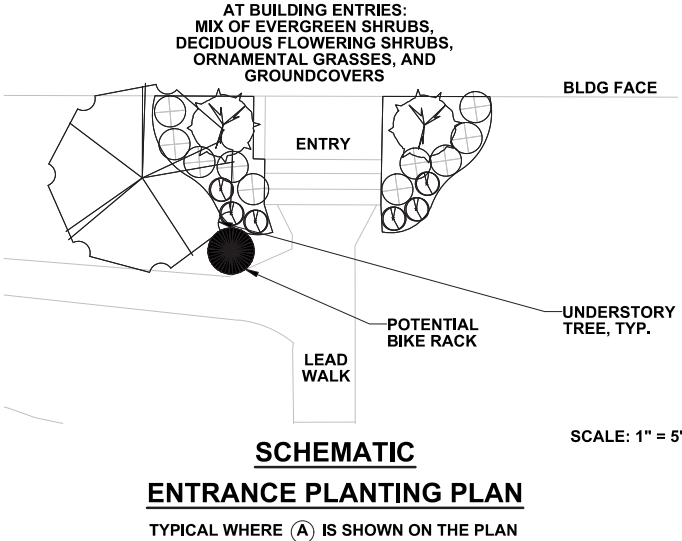
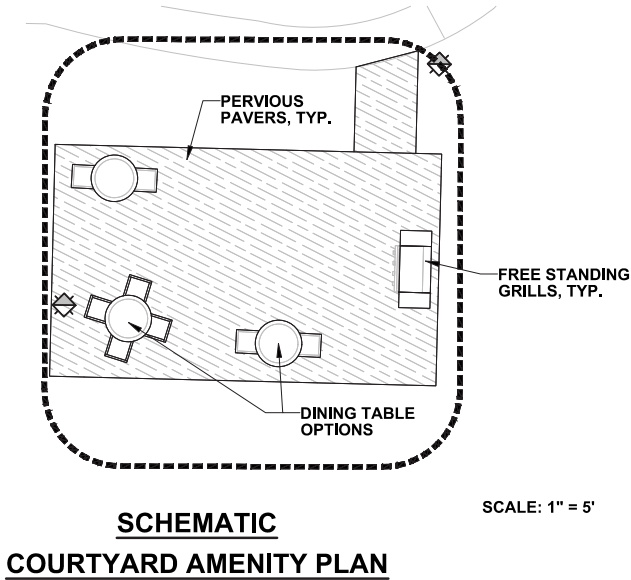
PROFESSIONAL SEAL

BARCROFT - RA2
4.1.2 USE PERMIT
ARLINGTON COUNTY, VIRGINIA

**OVERALL
LANDSCAPE PLAN**

DRAWN BY:	
DESIGNED BY:	
DATE ISSUED:	02/21/2025
DWG. SCALE:	1"=40'
VIKA NO.	V8340N
SHEET NO.	L-04

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- NOTES:
1. PROVIDE FLANKING UNDERSTORY TREES TO FRAME BUILDING ENTRY POINTS
 2. ADJUST PLANTS IN FIELD AS REQUIRED FOR EACH INDIVIDUAL ENTRANCE CONFIGURATION.
 3. SPECIES MIX WILL VARY DEPENDING ON SUN EXPOSURE AND SOIL MOISTURE
 4. NATIVE PLANTS WILL BE EMPHASIZED
 5. FOUNDATION PLANTS ARE SHOWN FOR OVERALL INTENT ONLY--PLANTS WILL BE GROUPED BETWEEN WINDOWS AND USED FOR ACCENT AND SCREENING PURPOSES.



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PLAN STATUS DATE

USE PERMIT 1ST SUBMISSION 02/21/2025

POST-APPROVAL SHEET STATUS DATE

BARCROFT - RA2

4.1.2 USE PERMIT

ARLINGTON COUNTY, VIRGINIA

LANDSCAPE DETAILS

DRAWN BY:

DESIGNED BY:

DATE ISSUED: 02/21/2025

DWG. SCALE: AS SHOWN

VIKA NO. VV8340N

SHEET NO. L-05

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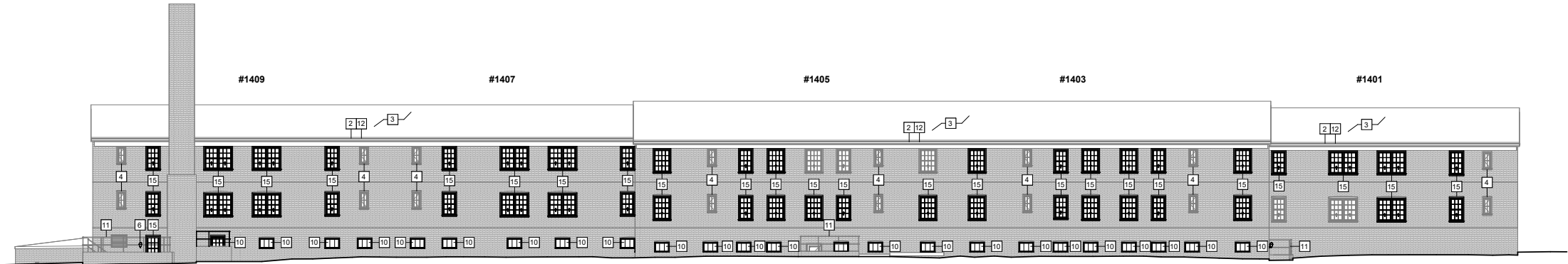


A3

The diagram shows a four-bar linkage mechanism. It consists of a fixed frame (link 1) represented by a circle with a diagonal line through it. Link 2 is a vertical bar of length $3/A3$ pivoted at the top to the frame. Link 3 is a horizontal bar of length $2/A3$ pivoted at its right end to the frame. Link 4 is an L-shaped slider block pivoted at its top-left corner to Link 2 and at its bottom-right corner to Link 3. The slider block is constrained to move vertically along a guide, indicated by a vertical line with arrows. The vertical distance from the pivot of Link 2 to the pivot of Link 3 is $1/A3$. The vertical distance from the pivot of Link 3 to the bottom of the slider block is $4/A3$.



1 BUILDING 28 - ELEVATION A
3/32" = 1'-0"



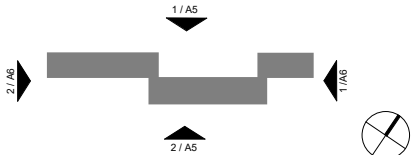
2 BUILDING 28 - ELEVATION B
3/32" = 1'-0"

GENERAL NEW WORK ELEVATION NOTES

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
4. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC TO REMAIN. SEE KEYNOTES FOR MORE INFORMATION;
5. REPLACE SELECTED WINDOWS AS SHOWN ON ELEVATIONS (WINDOWS TO BE REPLACED ARE BASED ON EXISTING SURVEY, GC TO CONFIRM);
6. REPAINT EXISTING EXTERIOR STEEL PRODUCTS. POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY, COLOR TO MATCH EXISTING;
7. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR;
8. SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW SHRUBS AND PLANTS;

KEYED NEW WORK ELEVATION NOTES

1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
2. GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE ONLY WHERE DAMAGED BEYOND REPAIR, TYP.
3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) / ASPHALT ROOF SHINGLES AND ASSOCIATED UNDERLAYMENT WHERE APPLICABLE;
4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.
5. REPAIR AND REFINISH EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC AS NECESSARY, PROVIDE NEW HARDWARE TYP.
6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING (COLONIAL REVIVAL-STYLE LANTERN, COLOR: BLACK), TYP.
7. NEW INTAKE BRICK VENT PENETRATIONS, EXACT SIZE TBD;
8. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD;
9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
10. NEW REPLACEMENT WINDOW, SIZE AND FINISH (SIMULATED DIVIDED LITE, WHITE ALUMINUM CLAD) TO MATCH EXISTING | BASEMENT WINDOWS TO BE REPLACED WITH NEW SOL ALUMINUM WINDOWS WITH BLACK FINISH TO MATCH EXISTING;
11. PAINT EXISTING RAILING, COLOR TO MATCH EXISTING;
12. ADDUAL T. PENDING V.H. WAIVER, CLAD EXISTING TRIM WITH VINYL OR ALUMINUM COATED VINYL;
13. ADDUAL T. PENDING V.H. WAIVER, PROVIDE STANDING SEAM METAL CANOPY;
14. EXISTING ATTIC VENT TO REMAIN, REPAIR AND REPAINT AS NECESSARY, TYP.
15. PROVIDE STORM WINDOW ON THE INTERIOR SIDE OF EXISTING WOOD-SASH WINDOW. EXISTING WINDOW TO BE REPLACED WITH ALUMINUM WINDOW (REFER TO #10) ONLY IF NEEDED FOR EGRESS OR ENERGY CODE COMPLIANCE.



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BARCROFT APARTMENTS
RA-2
ARLINGTON COUNTY, VIRGINIA

REVISIONS

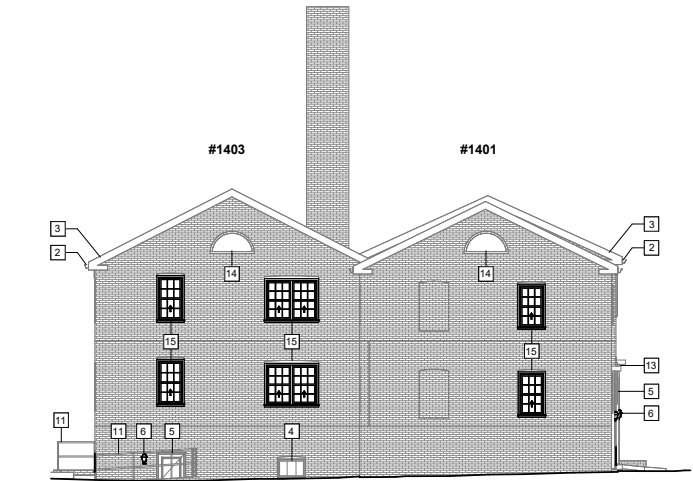
1 USE PERMIT 02/03/25

DATE: 02/03/25
PROJECT NO: 2022-564
DRAWN BY: AL
CHECKED BY: MF

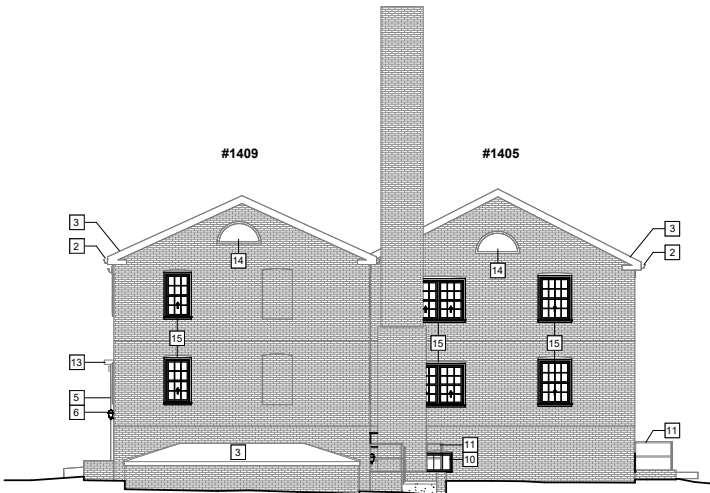
BUILDING 28 - ELEVATIONS

DRAWING SET
NOT FOR CONSTRUCTION

A5



1 BUILDING 28 - ELEVATION C
A6 1/8" = 1'-0"



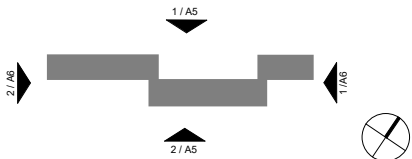
2 BUILDING 28 - ELEVATION D
A6 1/8" = 1'-0"

GENERAL NEW WORK ELEVATION NOTES

- 1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
- 2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
- 3. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
- 4. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC TO REMAIN. SEE KEYNOTES FOR MORE INFORMATION;
- 5. REPLACE SELECTED WINDOWS AS SHOWN ON ELEVATIONS (WINDOWS TO BE REPLACED ARE BASED ON EXISTING SURVEY, GC TO CONFIRM);
- 6. REPAINT EXISTING EXTERIOR STEEL PRODUCTS: POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY, COLOR TO MATCH EXISTING;
- 7. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR;
- 8. SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW SHRUBS AND PLANTS;

KEYED NEW WORK ELEVATION NOTES

- 1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
- 2. GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE ONLY WHERE DAMAGED BEYOND REPAIR, TYP.
- 3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) / ASPHALT ROOF SHINGLES AND ASSOCIATED UNDERLAYMENT WHERE APPLICABLE;
- 4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.
- 5. REPAIR AND REFINISH EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC AS NECESSARY, PROVIDE NEW HARDWARE TYP.
- 6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING (COLONIAL REVIVAL-STYLE LANTERN, COLOR: BLACK), TYP.
- 7. NEW INTAKE BRICK VENT PENETRATION, EXACT SIZE TBD;
- 8. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD;
- 9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
- 10. NEW REPLACEMENT WINDOW, SIZE AND FINISH (SIMULATED DIVIDED LITE, WHITE ALUMINUM CLAD) TO MATCH EXISTING / BASEMENT WINDOWS TO BE REPLACED WITH NEW SOL ALUMINUM WINDOWS WITH BLACK FINISH TO MATCH EXISTING;
- 11. PAINT EXISTING RAILING, COLOR TO MATCH EXISTING;
- 12. ADDUAL T. PENDING V.H. WAIVER, CLAD EXISTING TRIM WITH VINYL OR ALUMINUM COATED VINYL;
- 13. ADDUAL T. PENDING V.H. WAIVER, PROVIDE STANDING SEAM METAL CANOPY;
- 14. EXISTING ATTIC VENT TO REMAIN, REPAIR AND REPAINT AS NECESSARY, TYP.
- 15. PROVIDE STORM WINDOW ON THE INTERIOR SIDE OF EXISTING WOOD-SASH WINDOW. EXISTING WINDOW TO BE REPLACED WITH ALUMINUM WINDOW (REFER TO #10) ONLY IF NEEDED FOR EGRESS OR ENERGY CODE COMPLIANCE.



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REVISIONS

1	USE PERMIT	02/03/25

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CHECKED BY: MF

BUILDING 28 - ELEVATIONS

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A6

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BARCROFT APARTMENTS
RA-2
ARLINGTON COUNTY, VIRGINIA

REVISIONS

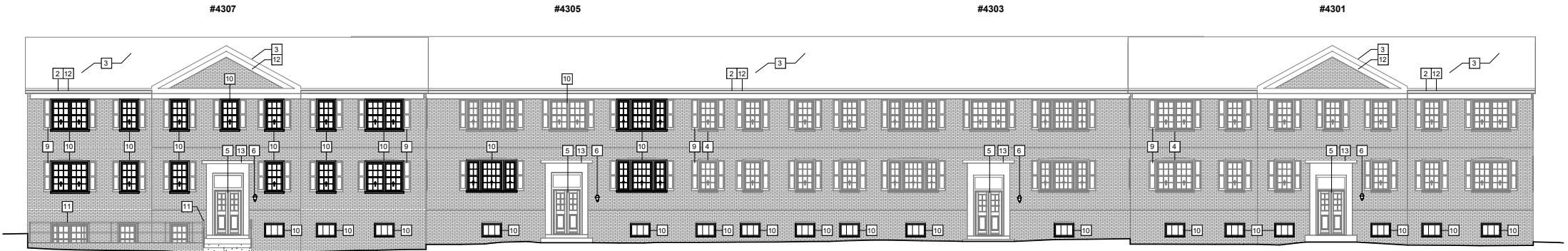
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DATE: 02/03/25
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DRAWN BY: AL
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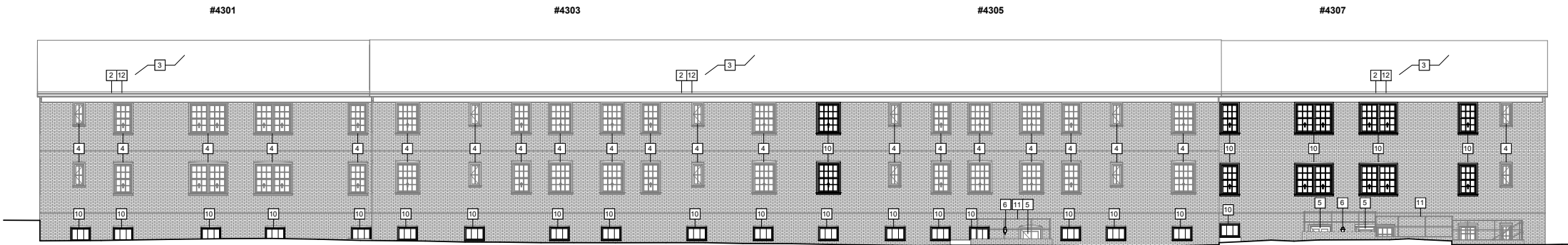
BUILDING 29 - ELEVATIONS

DRAWING SET
NOT FOR CONSTRUCTION

A8



1
A8
BUILDING 29 - ELEVATION A
1/8" = 1'-0"



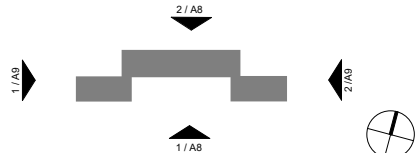
2
A8
BUILDING 29 - ELEVATION B
1/8" = 1'-0"

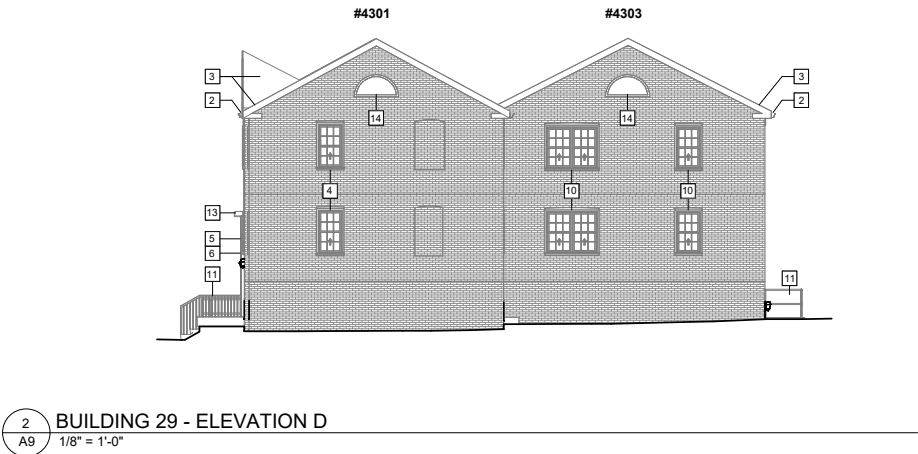
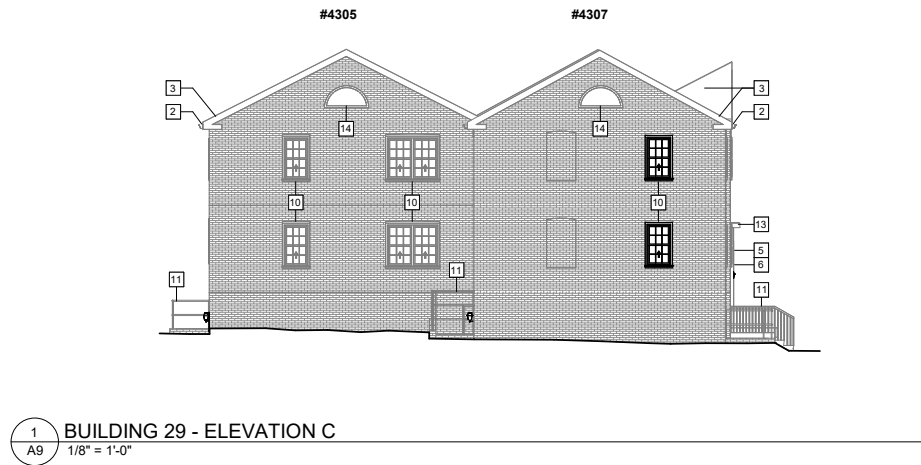
GENERAL NEW WORK ELEVATION NOTES

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
4. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC TO REMAIN. SEE KEYNOTES FOR MORE INFORMATION;
5. REPLACE SELECTED WINDOWS AS SHOWN ON ELEVATIONS (WINDOWS TO BE REPLACED ARE BASED ON EXISTING SURVEY, GC TO CONFIRM);
6. REPAINT EXISTING EXTERIOR STEEL PRODUCTS: POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY, COLOR TO MATCH EXISTING;
7. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR;
8. SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW SHRUBS AND PLANTS;

KEYED NEW WORK ELEVATION NOTES

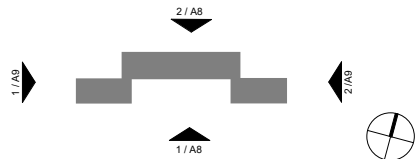
1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
2. GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE ONLY WHERE DAMAGED BEYOND REPAIR, TYP.
3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) / ASPHALT ROOF SHINGLES AND ASSOCIATED UNDERLAYMENT WHERE APPLICABLE;
4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.
5. REPAIR AND REFINISH EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC AS NECESSARY, PROVIDE NEW HARDWARE TYP.
6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING (COLONIAL REVIVAL-STYLE LANTERN, COLOR: BLACK), TYP.
7. NEW INTAKE BRICK VENT PENETRATION, EXACT SIZE TBD;
8. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD;
9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
10. NEW REPLACEMENT WINDOW, SIZE AND FINISH (SIMULATED DIVIDED LITE, WHITE ALUMINUM CLAD) TO MATCH EXISTING | BASEMENT WINDOWS TO BE REPLACED WITH NEW SOL ALUMINUM WINDOWS WITH BLACK FINISH TO MATCH EXISTING;
11. PAINT EXISTING RAILING, COLOR TO MATCH EXISTING;
12. ADDUAL T. PENDING V.H. WAIVER: CLAD EXISTING TRIM WITH VINYL OR ALUMINUM COATED VINYL;
13. ADDUAL T. PENDING V.H. WAIVER: PROVIDE STANDING SEAM METAL CANOPY;
14. EXISTING ATTIC VENT TO REMAIN, REPAIR AND REPAINT AS NECESSARY, TYP.
15. PROVIDE STORM WINDOW ON THE INTERIOR SIDE OF EXISTING WOOD-SASH WINDOW. EXISTING WINDOW TO BE REPLACED WITH ALUMINUM WINDOW (REFER TO #10) ONLY IF NEEDED FOR EGRESS OR ENERGY CODE COMPLIANCE.





- GENERAL NEW WORK ELEVATION NOTES**
1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
 2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
 3. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
 4. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC TO REMAIN, SEE KEYNOTES FOR MORE INFORMATION;
 5. REPLACE SELECTED WINDOWS AS SHOWN ON ELEVATIONS (WINDOWS TO BE REPLACED ARE BASED ON EXISTING SURVEY, GC TO CONFIRM);
 6. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY, COLOR TO MATCH EXISTING;
 7. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR;
 8. SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW SHRUBS AND PLANTS;

- KEYED NEW WORK ELEVATION NOTES**
- | | | | |
|----|--|----|---|
| 1 | REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED; | 11 | PAINT EXISTING RAILING, COLOR TO MATCH EXISTING; |
| 2 | GUTTERS AND DOWNSPOUTS TO REMAIN, REPLACE ONLY WHERE DAMAGED BEYOND REPAIR, TYP; | 12 | ADDUAL T. PENDING V.H. WAIVER; CLAD EXISTING TRIM WITH VINYL OR ALUMINUM COATED VINYL; |
| 3 | REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) / ASPHALT ROOF SHINGLES AND ASSOCIATED UNDERLAYMENT WHERE APPLICABLE; | 13 | ADDUAL T. PENDING V.H. WAIVER; PROVIDE STANDING SEAM METAL CANOPY; |
| 4 | EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP; | 14 | EXISTING ATTIC VENT TO REMAIN, REPAIR AND REPAINT AS NECESSARY, TYP; |
| 5 | REPAIR AND REFINISH EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC AS NECESSARY, PROVIDE NEW HARDWARE TYP; | 15 | PROVIDE STORM WINDOW ON THE INTERIOR SIDE OF EXISTING WOOD-SASH WINDOW, EXISTING WINDOW TO BE REPLACED WITH ALUMINUM WINDOW (REFER TO #10) ONLY IF NEEDED FOR EGRESS OR ENERGY CODE COMPLIANCE. |
| 6 | PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING (COLONIAL REVIVAL-STYLE LANTERN, COLOR: BLACK), TYP; | | |
| 7 | NEW INTAKE BRICK VENT PENETRATION, EXACT SIZE TBD; | | |
| 8 | NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD; | | |
| 9 | REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY; | | |
| 10 | NEW REPLACEMENT WINDOW, SIZE AND FINISH (SIMULATED DIVIDED LITE, WHITE ALUMINUM CLAD) TO MATCH EXISTING / BASEMENT WINDOWS TO BE REPLACED WITH NEW SOL ALUMINUM WINDOWS WITH BLACK FINISH TO MATCH EXISTING; | | |



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REVISIONS

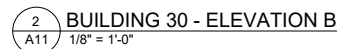
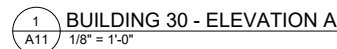
1	USE PERMIT	02/03/25

DATE: 02/03/25
PROJECT NO: 2022-564
DRAWN BY: AL
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BUILDING 29 - ELEVATIONS

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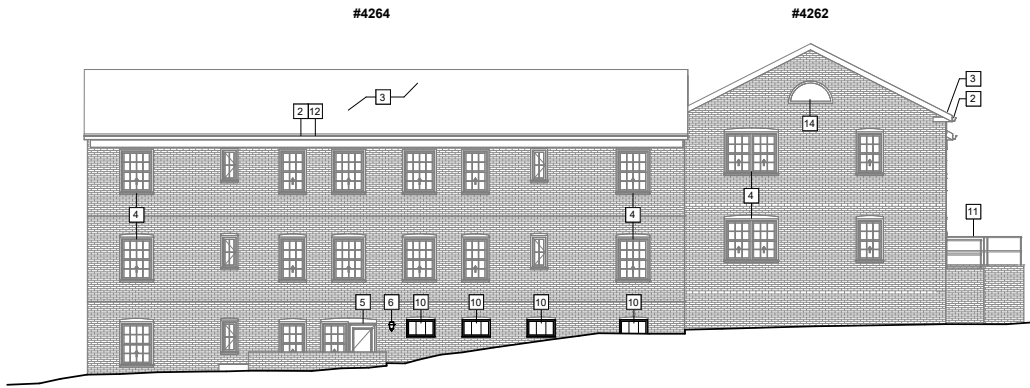
A9



FEBRUARY 19, 2025



1
A12
BUILDING 30 - ELEVATION C
1/8" = 1'-0"



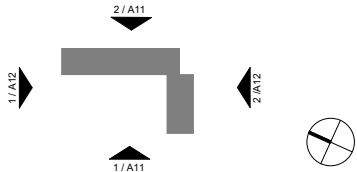
2
A12
BUILDING 30 - ELEVATION D
1/8" = 1'-0"

GENERAL NEW WORK ELEVATION NOTES

- 1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
- 2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
- 3. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
- 4. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC TO REMAIN. SEE KEYNOTES FOR MORE INFORMATION;
- 5. REPLACE SELECTED WINDOWS AS SHOWN ON ELEVATIONS (WINDOWS TO BE REPLACED ARE BASED ON EXISTING SURVEY, GC TO CONFIRM);
- 6. REPAINT EXISTING EXTERIOR STEEL PRODUCTS: POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY, COLOR TO MATCH EXISTING;
- 7. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR;
- 8. SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW SHRUBS AND PLANTS;

KEYED NEW WORK ELEVATION NOTES

- 1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
- 2. GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE ONLY WHERE DAMAGED BEYOND REPAIR, TYP.
- 3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) / ASPHALT ROOF SHINGLES AND ASSOCIATED UNDERLAYMENT WHERE APPLICABLE;
- 4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.
- 5. REPAIR AND REFINISH EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC AS NECESSARY, PROVIDE NEW HARDWARE TYP.
- 6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING (COLONIAL REVIVAL-STYLE LANTERN, COLOR: BLACK), TYP.
- 7. NEW INTAKE BRICK VENT PENETRATION, EXACT SIZE TBD;
- 8. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD;
- 9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
- 10. NEW REPLACEMENT WINDOW, SIZE AND FINISH (SIMULATED DIVIDED LITE, WHITE ALUMINUM CLAD) TO MATCH EXISTING | BASEMENT WINDOWS TO BE REPLACED WITH NEW SOL ALUMINUM WINDOWS WITH BLACK FINISH TO MATCH EXISTING;
- 11. PAINT EXISTING RAILING, COLOR TO MATCH EXISTING;
- 12. ADDUAL T. PENDING V.H. WAIVER; CLAD EXISTING TRIM WITH VINYL OR ALUMINUM COATED VINYL;
- 13. ADDUAL T. PENDING V.H. WAIVER; PROVIDE STANDING SEAM METAL CANOPY;
- 14. EXISTING ATTIC VENT TO REMAIN, REPAIR AND REPAINT AS NECESSARY, TYP.
- 15. PROVIDE STORM WINDOW ON THE INTERIOR SIDE OF EXISTING WOOD-SASH WINDOW. EXISTING WINDOW TO BE REPLACED WITH ALUMINUM WINDOW (REFER TO #10) ONLY IF NEEDED FOR EGRESS OR ENERGY CODE COMPLIANCE.



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REVISIONS

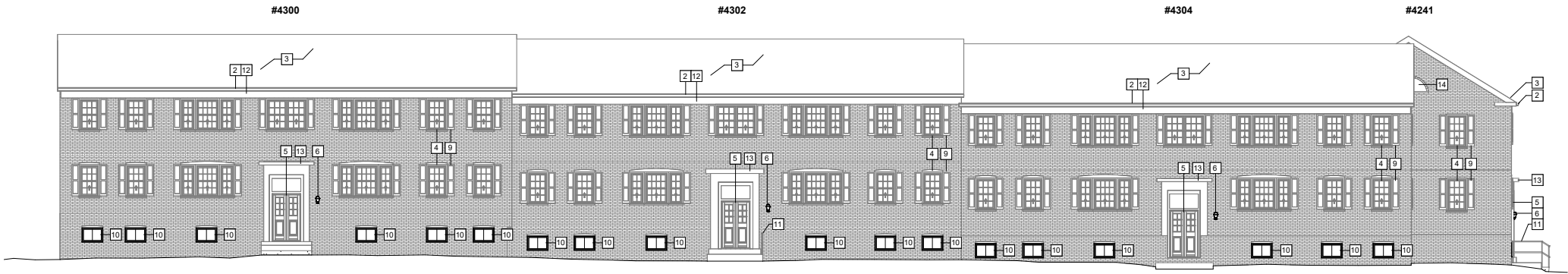
1 USE PERMIT 02/03/25

DATE: 02/03/25
PROJECT NO: 2022-164
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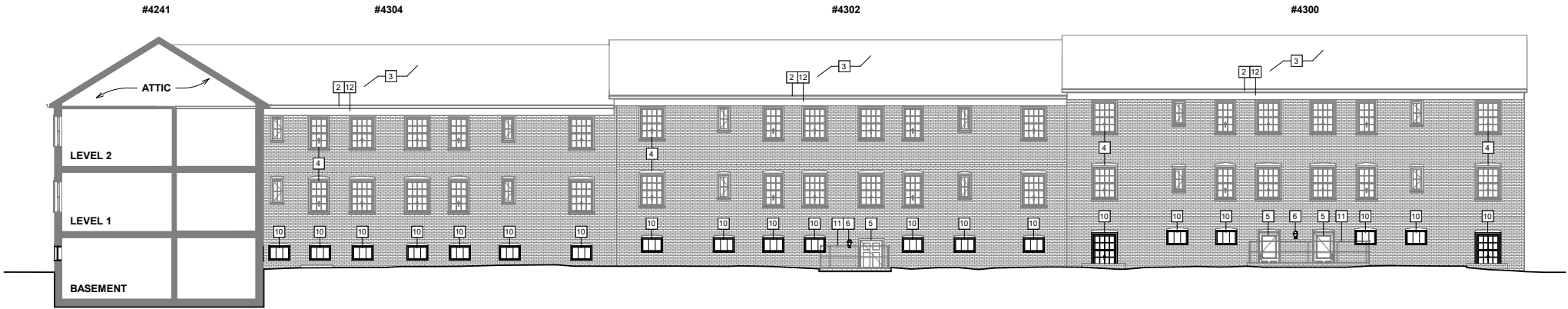
BUILDING 30 - ELEVATIONS

DRAWING SET
NOT FOR CONSTRUCTION

A12



1
A14
BUILDING 31 - ELEVATION A
1/8" = 1'-0"



2
A14
BUILDING 31 - ELEVATION B
1/8" = 1'-0"



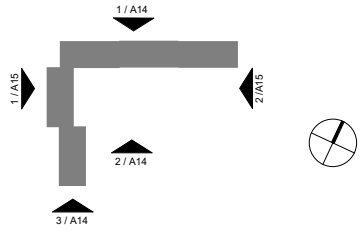
3
A14
BUILDING 31 - ELEVATION B1
1/8" = 1'-0"

GENERAL NEW WORK ELEVATION NOTES

- 1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
- 2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
- 3. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
- 4. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS DEEMED HISTORIC TO REMAIN, SEE KEYNOTES FOR MORE INFORMATION;
- 5. REPLACE SELECTED WINDOWS AS SHOWN ON ELEVATIONS (WINDOWS TO BE REPLACED ARE BASED ON EXISTING SURVEY, GC TO CONFIRM);
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- 7. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR;
- 8. SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW SHRUBS AND PLANTS;

KEYED NEW WORK ELEVATION NOTES [4]

- 1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
- 2. GUTTERS AND DOWNSPOUTS TO REMAIN, REPLACE ONLY WHERE DAMAGED BEYOND REPAIR, TYP;
- 3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) / ASPHALT ROOF SHINGLES AND ASSOCIATED UNDERLAYMENT WHERE APPLICABLE;
- 4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP;
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- 6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING (COLONIAL REVIVAL-STYLE LANTERN, COLOR: BLACK), TYP;
- 7. NEW INTAKE BRICK VENT PENETRATION, EXACT SIZE TBD;
- 8. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD;
- 9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
- 10. NEW REPLACEMENT WINDOW, SIZE AND FINISH (SIMULATED DIVIDED LITE, WHITE ALUMINUM CLAD) TO MATCH EXISTING / BASEMENT WINDOWS TO BE REPLACED WITH NEW SOL ALUMINUM WINDOWS WITH BLACK FINISH TO MATCH EXISTING;
- 11. PAINT EXISTING RAILING, COLOR TO MATCH EXISTING;
- 12. ADDUAL T. PENDING V.H. WAIVER, CLAD EXISTING TRIM WITH VINYL OR ALUMINUM COATED VINYL;
- 13. ADDUAL T. PENDING V.H. WAIVER, PROVIDE STANDING SEAM METAL CANOPY;
- 14. EXISTING ATTIC VENT TO REMAIN, REPAIR AND REPAINT AS NECESSARY, TYP;
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REVISIONS

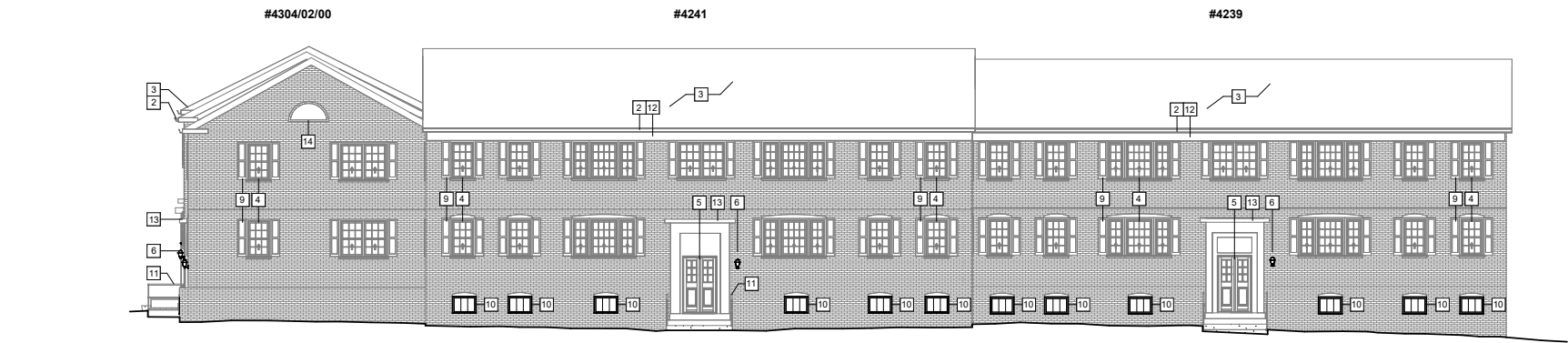
NO.	DESCRIPTION	DATE
1	USE PERMIT	02/03/25

DATE: 02/03/25
PROJECT NO: 2022-164
DRAWN BY: AL
CHECKED BY: MF

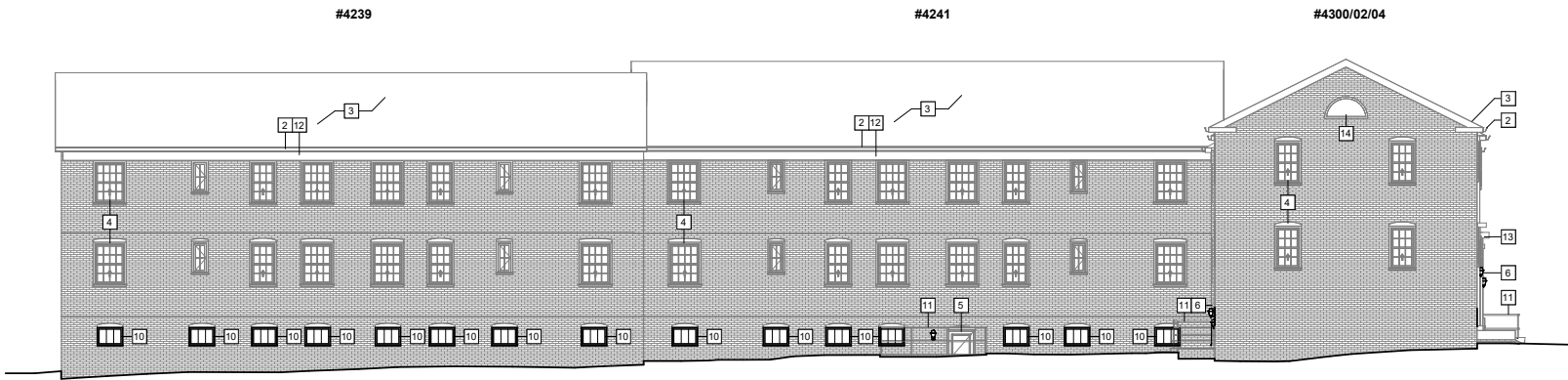
BUILDING 31 - ELEVATIONS

DRAWING SET
NOT FOR CONSTRUCTION

A14



1
A15
BUILDING 31 - ELEVATION C
1/8" = 1'-0"



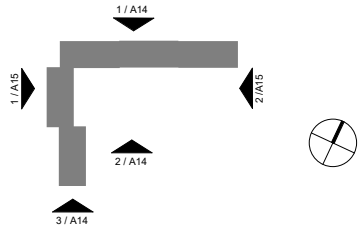
2
A15
BUILDING 31 - ELEVATION D
1/8" = 1'-0"

GENERAL NEW WORK ELEVATION NOTES

- 1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
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- 8. SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW SHRUBS AND PLANTS;

KEYED NEW WORK ELEVATION NOTES

- 1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
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- 11. PAINT EXISTING RAILING, COLOR TO MATCH EXISTING;
- 12. ADDUAT.I.PENDING.VH.WAIVER, CLAD EXISTING TRIM WITH VINYL OR ALUMINUM COATED VINYL;
- 13. ADDUAT.I.PENDING.VH.WAIVER, PROVIDE STANDING SEAM METAL CANOPY;
- 14. EXISTING ATTIC VENT TO REMAIN, REPAIR AND REPAINT AS NECESSARY, TYP.
- 15. PROVIDE STORM WINDOW ON THE INTERIOR SIDE OF EXISTING WOOD-SASH WINDOW. EXISTING WINDOW TO BE REPLACED WITH ALUMINUM WINDOW (REFER TO #10) ONLY IF NEEDED FOR EGRESS OR ENERGY CODE COMPLIANCE.



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BARCROFT APARTMENTS
RA-2
ARLINGTON COUNTY, VIRGINIA

REVISIONS

NO.	DESCRIPTION	DATE
1	USE PERMIT	02/03/25

DATE: 02/03/25
PROJECT NO: 2022-564
DRAWN BY: AL
CHECKED BY: MF

BUILDING 31 - ELEVATIONS

DRAWING SET
NOT FOR CONSTRUCTION

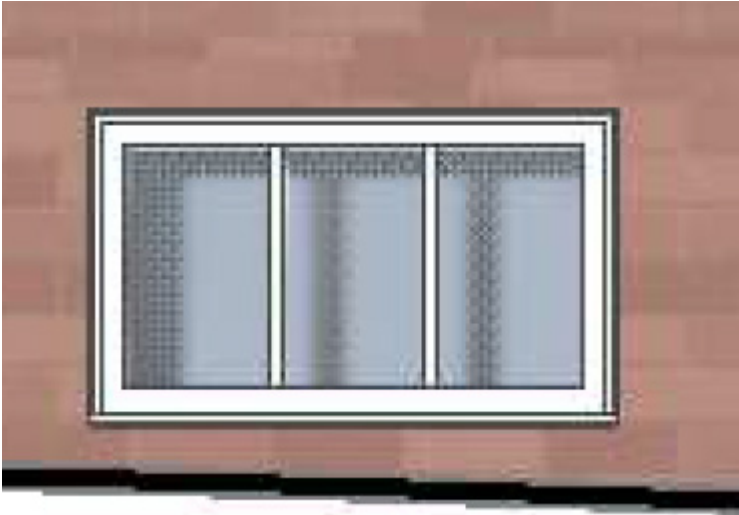
A15

EXISTING BASEMENT WINDOW



- Steel
- Hopper
- Located in non-habitable base-ment spaces

REPLACEMENT BASEMENT WINDOWS



- Aluminum
- Fixed
- Dual Pane Insulated Glass
- Simulated divided light



TYPICAL EXISTING WINDOWS (RETAINED)



- Vinyl
- Single-Hung
- Dual Pane Insulated Glass
- Simulated divided light
- White Color
- Wood
- Double-hung
- Single pane
- True divided light

REPLACEMENT TYPICAL WINDOWS (WHERE REQUIRED)



- Aluminum-clad
- Double-hung
- Dual Pane Insulated Glass
- Simulated divided light

EXISTING FIXTURE



PROPOSED

BASIS OF DESIGN:
PROGRESS LIGHTING MANSARD
TEXTURED BLACK
13" TALL

