



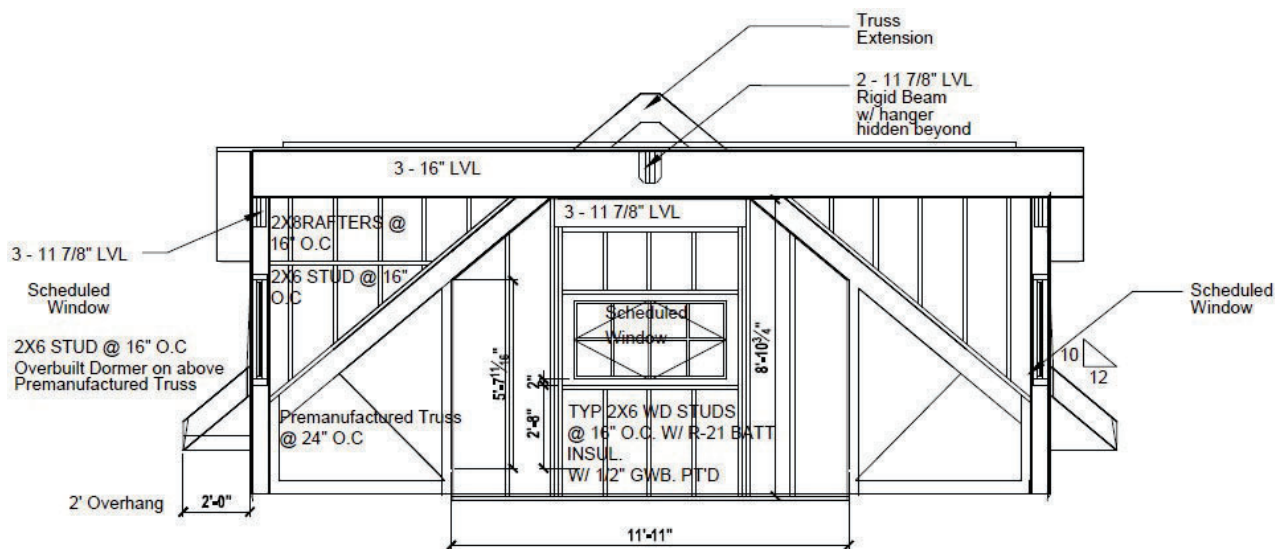
2904 29th Street Report

Dear Historical Affairs and Landmark Review Board (HALRB),

Attached are the current measurement and photo of what was built, according to what was approved by the building review.

In the process of conforming with building code a couple of items were modified in order to meet the building code.

Existing House Prior to Damage.



Original Building Section of Hybrid System of Beams and Trusses



Photo of Truss Frame from Center of Bonus

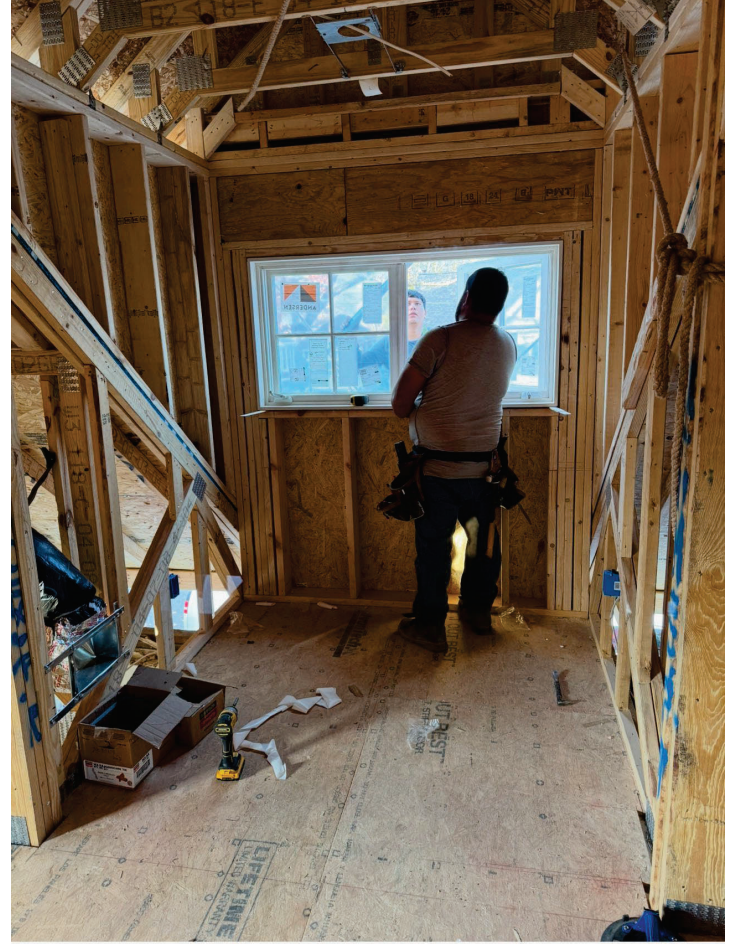


Photo of Framing Interior of Dormer

We altered the design and measurements of the dormers to meet egress requirements for the "Bonus Room."

Another factor that impacted the design was the Energy code requirements.

The interior ceiling height is actually less than approved 8' 10-3/4" and reduced to 8' 1-3/4".

According to the original drawings, we design it with a hybrid system of Beams and Trusses.

However, during review process, we discovered that the LVL engineered timber's span and depth were too great to create the open framing for the bonus room.

Therefore, we submitted the project to four different truss manufacturers, and only one manufacturer was able to design the roof structure that incorporate the combine dormer and keeping the open bonus room concept.



113" to Peak



77" to Eave



Finish Ceiling 8'



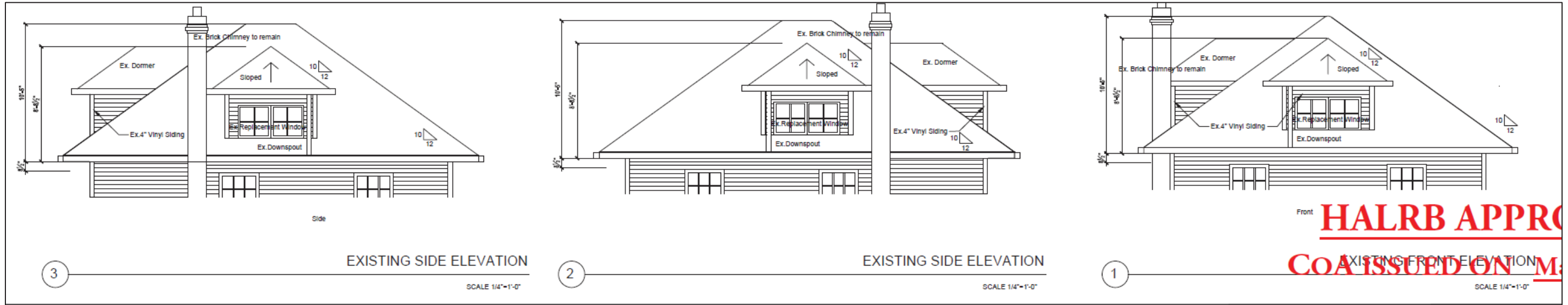
Final Sill Height 43" Egress Window



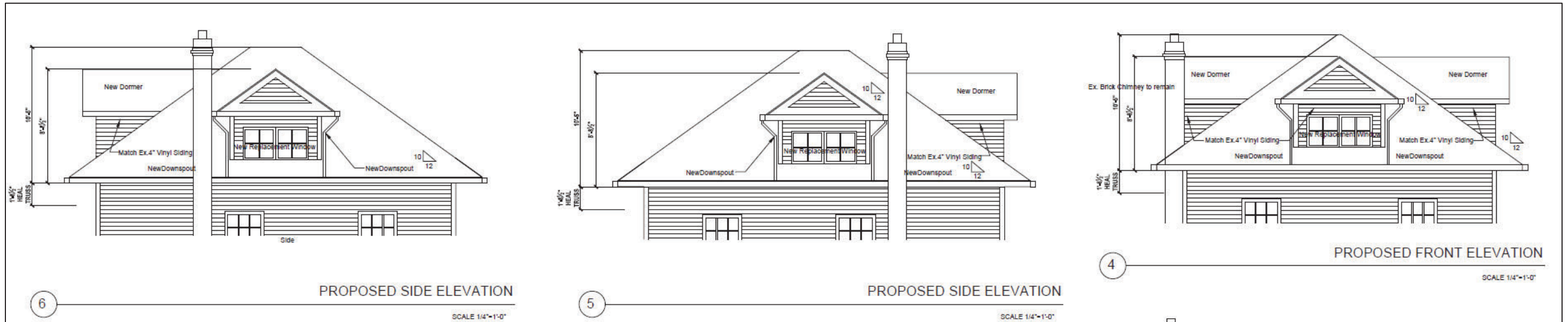
Final Width of Bay window 67.75"



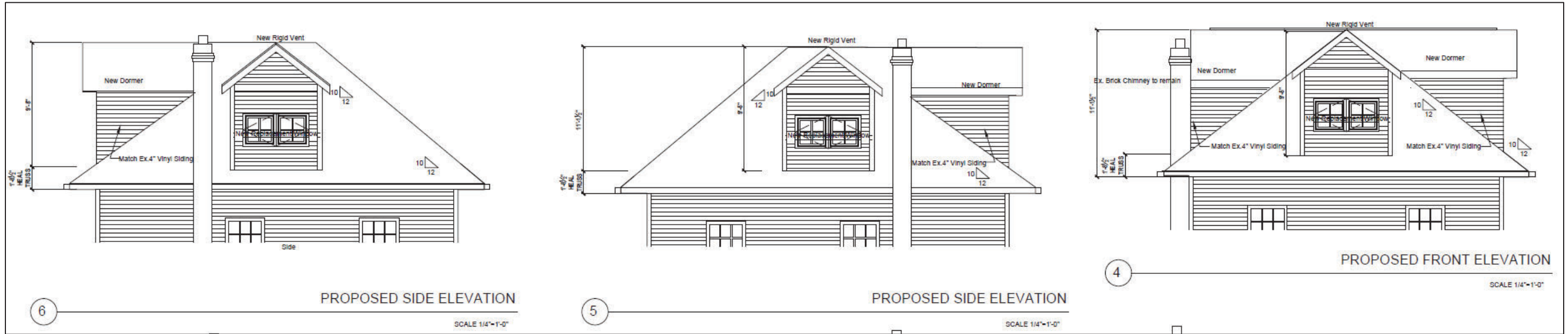
ORIGINAL DESIGN



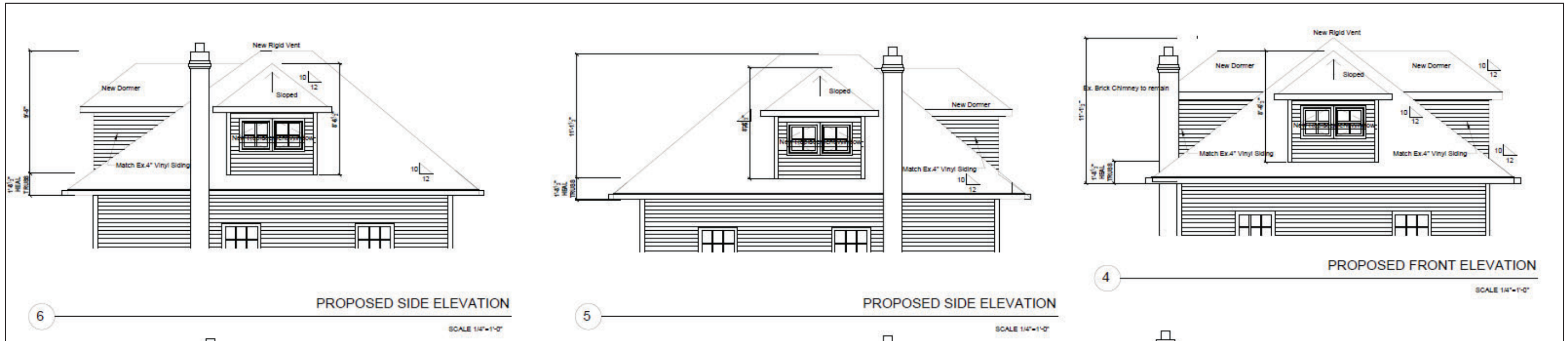
APPROVED DESIGN – COA 24-13



CURRENTLY BUILT DESIGN



AMENDED DESIGN – CoA 24-13A



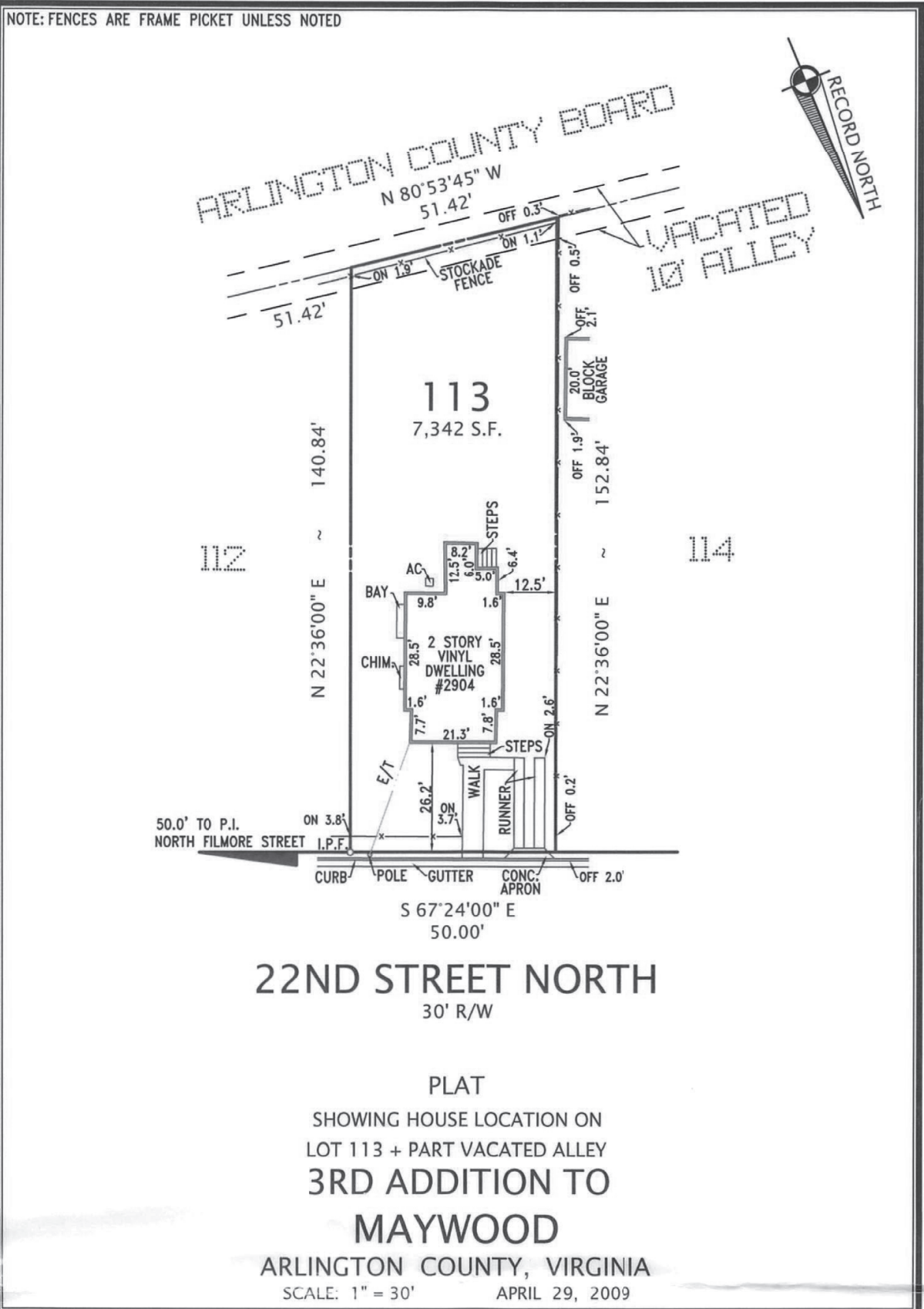






From the picture of the original dormer was overbuilt closer to edge of the overhang and not lined up with wall below. In new dormer is lined up with wall below making it height higher.

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CASE NAME: CARTER ~ WATHER/JEWELL		GRAPHIC SCALE 0 30 60
BY PROVISIONS OF THE VIRGINIA CODE: NO CORNER MARKERS SET, BOUNDARY SURVEY NOT PERFORMED. PLAT SUBJECT TO RESTRICTIONS OF RECORD, TITLE REPORT NOT FURNISHED.		
	I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY, AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS.	REQUESTED BY: THE REILLY LAW FIRM, PLLC
		ALEXANDRIA SURVEYS INTERNATIONAL, LLC 6210 NORTH KINGS HIGHWAY ALEXANDRIA, VIRGINIA 22303 TEL. NO. 703-660-6615

RB/16-K1

09-621H

HALRB APPROVED
COA ISSUED ON May 15, 2024

FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3838.



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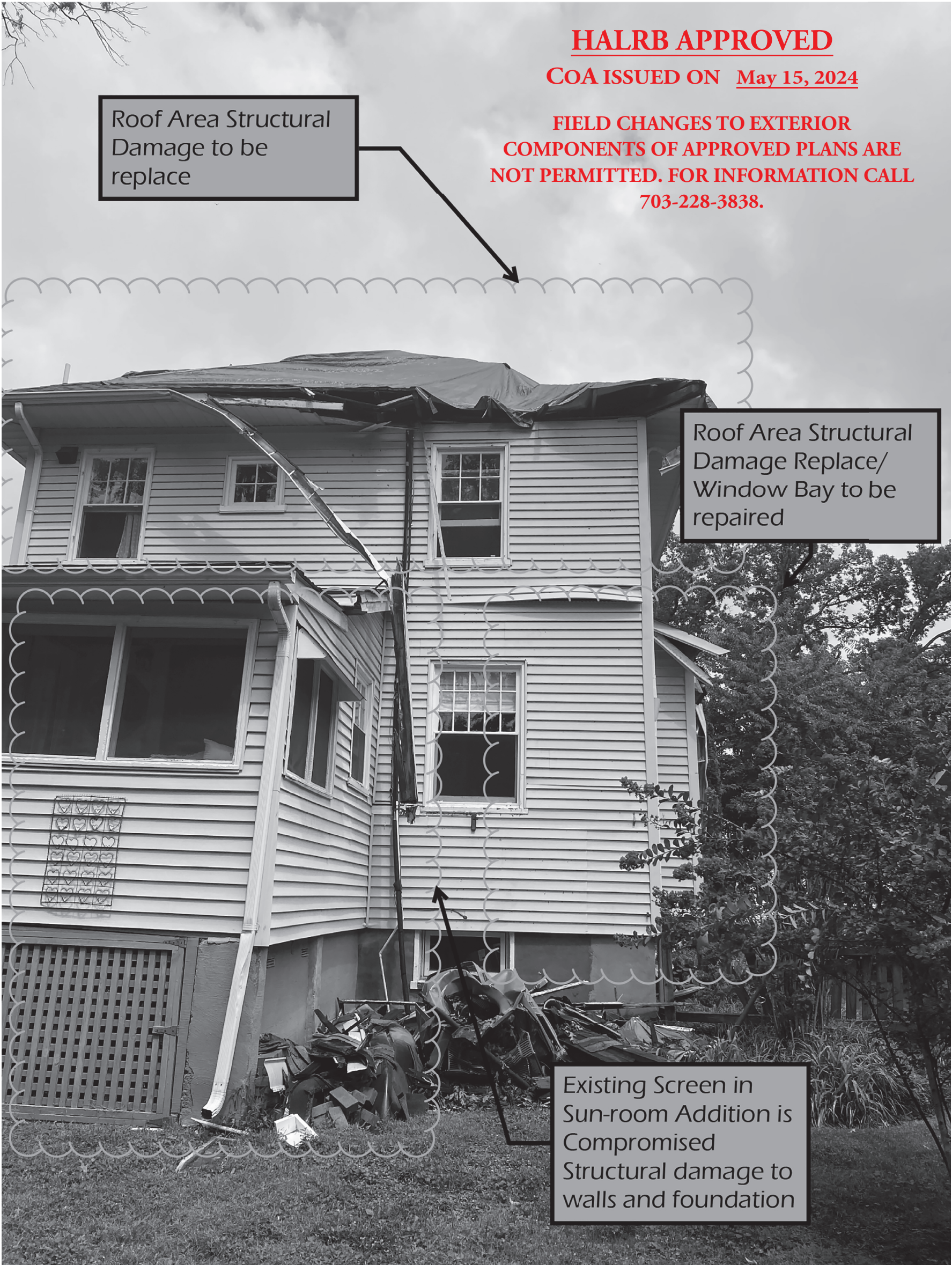
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Roof Area Structural
Damage to be
replace

Roof Area Structural
Damage Replace/
Window Bay to be
repaired

Existing Screen in
Sun-room Addition is
Compromised
Structural damage to
walls and foundation





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