

**SITE PLAN REVIEW COMMITTEE
MEETING AGENDA**

DATE: Monday, September 19, 2011
TIME: 7:00 – 9:00 p.m.
PLACE: 2100 Clarendon Boulevard
Courthouse Plaza, Room 109/111
Arlington, VA 22202

SPRC STAFF COORDINATOR: Samia Byrd, 703-228-3525

Item 1. Rosslyn Gateway PDSP & Site Plan (SP #419) 7:00 pm
(RPC#s 16-020-001; 16-020-002; 16-020-006; and portions of the 20th Street North, North Moore Street, 19th Street North and Ft. Myer Drive right-of-way) Planning Commission and County Board meetings to be determined.
Aaron Shriber (CPHD Staff)

The Site Plan Review Committee (SPRC) is comprised of Planning Commission members, representatives from other relevant commissions and several appointed citizens. The SPRC reviews all site plans and major site plan amendments requests, which are submitted to the County Board and the Planning Commission for consideration. The major responsibilities of the SPRC are the following:

1. Review site plan or major site plan amendment requests in detail.
2. Advise the Planning Commission by recommending the appropriate action in regard to a specific plan and any conditions, which it might determine to be necessary or appropriate.
3. Provide a forum by which interested citizens, civic associations and neighborhood conservation committees can review and comment on a particular plan, or the effects that the proposed project might have on the neighborhood.

In order to save copying costs, staff has selectively chosen the reduced drawings to be included in this package. The complete full size drawings are available for review in the Arlington County Zoning Office, 10th Floor, Courthouse Plaza, 2100 Clarendon Boulevard and also in the Central Library's Virginia Room, 1015 N. Quincy St., (703) 228-5990.

For more information on the Arlington County Planning Commission, go to their web site
<http://www.arlingtonva.us/Departments/Commissions/plancom/PlancomMain.aspx?lnsLinkID=978>

For more information on the Site Plan public review process, go to the Arlington County Planning Division's web site on Development Proposals/Site Plans
http://www.arlingtonva.us/Departments/CPHD/Planning/applications/site_plans/CPHDPlanningApplicationsSite_plansMain.aspx

To view the current Site Plan Review Committee schedule, go to the web site
http://www.arlingtonva.us/Departments/CPHD/Planning/applications/site_plans/CPHDPlanningApplicationsSPRCSchedule.aspx

ITEM 1

Rosslyn Gateway PDSP & Site Plan (SP #419)

(RPC#s 16-020-001; 16-020-002; 16-020-006; and portions of the 20th Street North, North Moore Street, 19th Street North and Ft. Myer Drive right-of-way)

AGENDA: First Meeting—September 19, 2011

- 1) Informational Presentation
 - a) Overview of Phased Development Site Plan and Final Site Plan Proposal (Staff)
 - b) Presentation of Phased Development Site Plan and Final Site Plan Proposal (Applicant)

Second Meeting--TBD

- 2) Land Use & Zoning
 - a) Relationship of site to GLUP, sector plans, etc.
 - i) Requested changes (if any)
 - ii) Justification for requested changes (if any)
 - b) Relationship of project to existing zoning
 - i) Special site designations (historic district, etc.)
 - ii) Requested bonus density, height, etc. (if any)
 - iii) Requested modification of use regulations (if any)
- 3) Site Design and Characteristics
 - a) Allocation of uses on the site
 - b) Relationship and orientation of proposed buildings to public space and other buildings
 - c) View vistas through site
 - d) Visibility of site or buildings from significant neighboring perspectives
 - e) Historic status of any existing buildings on site
 - f) Compliance with adopted planning documents
- 4) Building Architecture
 - a) Design Issues
 - i) Building form (height, massing, tapering, setbacks)
 - ii) Facade treatments, materials, fenestration
 - iii) Roof line/penthouse form and materials
 - iv) Street level activism/entrances & exits
 - v) LEED/Earthcraft/Green Home Choice Score
 - vi) Accessibility
 - vii) Historic Preservation (if applicable)
 - b) Retail Spaces (if applicable)
 - i) Location, size, ceiling heights
 - ii) Storefront designs and transparency
 - iii) Mix of tenants (small v. large, local v. national)
 - c) Service Issues
 - i) Utility equipment

- ii) Venting location and type
 - iii) Location and visibility of loading and trash service
 - iv) Exterior/rooftop lighting
- 5) Transportation
- a) Infrastructure
 - i) Mass transit facilities and access
 - ii) Street systems (w/existing and proposed cross sections)
 - iii) Vehicular and pedestrian routes
 - iv) Bicycle routes and parking
 - b) Traffic Demand Management Plan
 - c) Automobile Parking
 - i) Proposed v. required (tenant, visitor, compact, handicapped, etc.)
 - ii) Access (curb cuts, driveway & drive aisle widths)
 - d) Delivery Issues
 - i) Drop offs
 - ii) Loading docks
 - e) Signage (parking, wayfinding, etc.)
- 6) Open Space
- a) Orientation and use of open spaces
 - b) Relationship to scenic vistas, natural features and/or adjacent public spaces
 - c) Compliance with existing planning documents and policies
 - d) Landscape plan (incl. tree preservation)
- 7) Community Benefits
- a) Public Art
 - b) Affordable Housing
 - c) Underground Utilities
 - d) Historic Preservation
 - e) Other
- 8) Construction issues
- i) Phasing
 - ii) Vehicle staging, parking, and routing
 - iii) Community Liaison

Site Location: 2.34-acre (101,817 square feet) site located in the Rosslyn Station Metro Area bounded on the north by Lee Highway, on the east by North Moore Street, on the south by 19th Street North and on the west by Ft. Myer Drive.

Applicant Information:

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BACKGROUND: The applicant requests approval of the following actions:

- Rezoning of the 2.34-acre subject site from the “C-O” and “S-3A” zoning districts to the “C-O-Rosslyn” zoning district;
- Phased Development Site Plan (PDSP);
- Site Plan (SP #419) to consolidate SP #39 (Rosslyn Gateway South office building) and SP #54 (Rosslyn Gateway North office building); and
- Vacation of 42,383 square feet consisting of County right-of-way (29,712 square feet) and public street and utility easements (12,671 square feet).

The site is located within the Rosslyn Station Metro Area and the General Land Use Plan (GLUP) designates the site as “High” Office-Apartment-Hotel and within the “Rosslyn Coordinated Redevelopment District” (GLUP Note 15). The applicant proposes to redevelop the site in conformance with the “C-O-Rosslyn” zoning district and the recommendations of the Rosslyn Station Area Plan Addendum. Specifically, the applicant proposes a PDSP to plan for the ultimate redevelopment of the block with three buildings at the maximum density permitted by the “C-O-Rosslyn” zoning district (10.0 FAR). The site plan request (SP #419) requests the consolidation of SP #39 and SP #54 for purposes of a) permitting the removal of the Rosslyn Gateway South office building; b) retention of the Rosslyn Gateway North office building; c) development of a twenty-four (24) story building consisting of 510,513 square feet of office space and 6,260 square feet of ground-floor retail use; and d) development of a twenty-five (25) story building consisting of 172,036 square feet of residential use (133 units) and 138,998 square feet of hotel use (148 units). The requested density of SP #419 is 9.45 FAR. Though the PDSP proposes the ultimate replacement of the Rosslyn Gateway North office building with a 190,363 square foot residential building, SP #419 proposes to retain the Rosslyn Gateway North building as an interim condition. Removal of the Rosslyn Gateway North building and development

of the future residential building will be subject to a future amendment to SP #419, though the PDSP will prescribe density, massing and form guidance for a future site plan amendment.

The following provides additional information about the site and location:

Site: The 2.34-acre (101,817 square feet) site is bounded on the north by Lee Highway, on the east by North Moore Street, on the south by 19th Street North and on the west by Ft. Myer Drive. The site is surrounded by the following land uses:

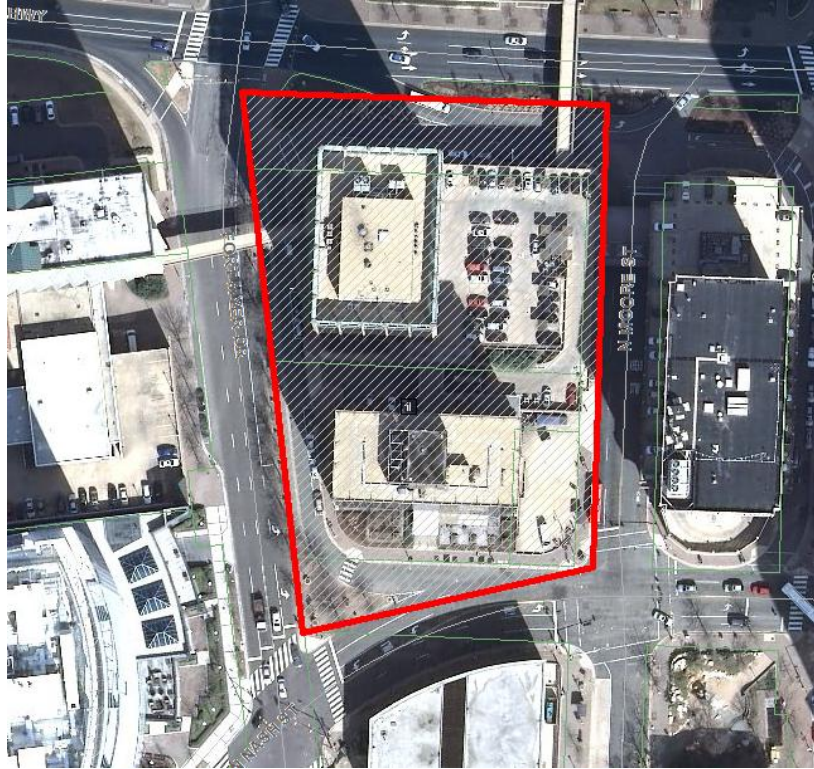
- To the north: Lee Highway and Gateway Park. The property is designated Public on the General Land Use Plan (GLUP) and is zoned “S-3A” Special Districts.
- To the east: North Moore Street and the RCA office building (SP #66). The property is designated “High” Office-Apartment-Hotel and “Rosslyn Coordinated Redevelopment District” on the GLUP and is zoned “C-O” Commercial Office Building, Hotel and Multiple-Family Dwelling Districts.
- To the south: 19th Street North and the 1812 North Moore development (SP #18). The property is designated “High” Office-Apartment-Hotel and “Rosslyn Coordinated Redevelopment District” on the GLUP and is zoned “C-O-Rosslyn” Commercial Office Building, Retail, Hotel and Multiple Family Dwelling Districts.
- To the west: Ft. Myer Drive and a Holiday Inn hotel (SP #79) and the Turnberry Tower condominium building (SP #19). The properties are designated “High” Residential on the GLUP and zoned “C-O” Commercial Office Building, Hotel and Multiple-Family Dwelling Districts (SP #79) and “C-O-Rosslyn” Commercial Office Building, Retail, Hotel and Multiple-Family Dwelling Districts (SP #19).

Existing Zoning: “C-O” Commercial Office Building, Hotel and Multiple-Family Dwelling Districts and “S-3A” Special Districts.

Proposed Zoning: “C-O-Rosslyn” Commercial Office Building, Retail, Hotel and Multiple Family Dwelling Districts.

General Land Use Plan Designation: “High” Office-Apartment-Hotel and “Rosslyn Coordinated Redevelopment District” (GLUP Note 15)

Neighborhood: The site is located within the Rosslyn Station Metro Area.



Existing Development: The site is currently developed with two (2) office buildings with above and below grade parking structures, as well as some surface level parking spaces. The Rosslyn Gateway North office building consists of 148,779 square feet and the Rosslyn Gateway South office building contains 118,094 square feet. Skywalk elements are located adjacent to the Rosslyn Gateway North office building and provide access from the site to areas located across Lee Highway to the north, North Moore Street to the east, and Ft. Myer Drive to the west.

Development Potential:

Site Area ¹	DENSITY ALLOWED/TYPICAL USE	MAXIMUM DEVELOPMENT
Existing Zoning		
“C-O” By-Right	One-Family Dwellings: 6,000 sf/lot; or Office Use: .6 FAR	16 lots; or 61,090 sf
“C-O” Site Plan ²	Office, Commercial and Hotel: 3.8 FAR; or Multiple-Family Dwellings: 4.8 FAR	386,904 sf; or 488,721 sf
Proposed Zoning		
“C-O-Rosslyn” By-Right	One-Family Dwellings: 6,000 sf/lot; or Office Use: .6 FAR	16 lots; or 61,090 sf
“C-O-Rosslyn” Site Plan	Office, Retail, Service Commercial, Hotels and Multiple-Family: 10.0 FAR	1,018,170 sf

¹ The applicant’s property consists of 72,105 sf, with inclusion of the requested areas of vacation, the PDSP and 4.1 site plan area consist of 101,817 sf.

²No portion of the site may be used more than once in computing the permitted density.

Proposed Development: The following table sets forth the preliminary statistical summary for the proposed site plan:

	Proposed
Site Area	101,817 sq. ft.
Applicant's property	72,105 sq. ft.
County r-o-w	29,712 sq. ft.
County public easements	12,671 sq. ft.
Density	
PDSP	1,018,170 sq. ft. (10.0 FAR)
Office	510,513 sq. ft.
Retail	6,260 sq. ft.
Hotel/Residential	311,034 sq. ft.
Hotel	148 units
Residential	133 units
Future Residential	190,363 sq. ft.
FSP	962,318 sq. ft. (9.45 FAR)
Office	510,513 sq. ft.
Retail	6,260 sq. ft.
Hotel/Residential	311,034 sq. ft.
Hotel	148 units
Residential	133 units
Existing Rosslyn Gateway North	134,511 sq. ft.
"C-O-Rosslyn" Max. Permitted	10.0 FAR
Height	
Office	300 ft.
Penthouse	23 ft.
Hotel/Residential	309.9 ft.
Penthouse	27.9 ft.
Future Residential	TBD
Existing Gateway North	149 ft.
"C-O-Rosslyn" Max. Permitted	300 ft.
Parking	571 sp.
Office	
Standard Spaces	107 spaces
Compact Spaces	22 spaces
Standard Tandem Stacker Spaces	142 spaces
Compact Tandem Stacker Spaces	22 spaces
Handicap Spaces	6 spaces
Handicap Van Spaces	2 spaces
Parking Provided	301 sp. (1 sp./1,696 sq. ft.)
Min. Office Required Parking Ratio	1 sp/1,000 s.f.
Min. Office Required Parking Spaces	511 spaces
Hotel	
Standard Spaces	18 spaces
Compact Spaces	56 spaces
Parking Provided	74 sp. (.5 sp./key)
Min. Hotel Required Parking Ratio	0.7 sp/unit

Min. Hotel Required Parking Spaces	104 spaces
Residential	
Automated Standard Spaces	110 spaces
Parking Provided	110 sp. (.83 sp./unit)
Min. Residential Required Parking Ratio	1 sp/unit
Min. Residential Required Parking Spaces	133 spaces
Retail	
Standard Spaces	6 spaces
Parking Provided	6 spaces (1sp./1,043 sq. ft.)
Min. Retail Required Parking Ratio	1 sp/1,000 s.f.
Min. Retail Required Parking Spaces	7 spaces
Existing Gateway North	80 sp. (1 sp./1,681 sq. ft.)
LEED	Gold

Density and Uses: The subject site is currently zoned “C-O” and “S-3A,” the GLUP designates the site as “High” Office-Apartment-Hotel and within the “Rosslyn Coordinated Redevelopment District.” The applicant proposes to vacate portions of County owned right-of-way (currently zoned “S-3A”) for purposes of rezoning the land along with the applicant’s land to the “C-O-Rosslyn” zoning district. The proposed Phased Development Site Plan (PDSP) seeks approval of the maximum density (10.0 FAR) permitted by the “C-O-Rosslyn” zoning district. This PDSP proposes a layout consisting of a twenty-four (24) story building consisting of 510,513 square feet of office use and 6,260 square feet of ground-floor retail space, a twenty-five (25) story building consisting of 172,036 square feet of residential use (133 units) and 138,998 square feet of hotel use (148 units), and a future residential building consisting of 190,363 square feet. Whereas the PDSP seeks approval of the full development potential of the site (1,018,170 square feet; 10.0 FAR), SP #419 seeks to retain the existing Rosslyn Gateway North office building, while permitting development of the office building and the residential/hotel building. The requested density of SP #419 is 962,318 square feet or 9.45 FAR. Development of the proposed future residential building (190,363 square feet) will not be permitted until approved subject to a future amendment to SP #419.

Site and Design: The difference between the PDSP and the site plan application is the retention of the Rosslyn Gateway North office building with the site plan, which will eventually be replaced with a 190,363 square foot residential building, per the PDSP, at a future date subject to an amendment to SP #419. As proposed, the twenty-five (25) story office building will be located in the southern portion of the site perpendicular to Ft. Myer Drive and North Moore Street, while the twenty-four (24) story residential/hotel building will be situated in the northeast portion of the site with a perpendicular orientation to Lee Highway. A service drive will bisect the site on an east-west axis that will provide access to the parking garages and loading areas. In addition, a drop-off area for the hotel will be provided from the south side of Lee Highway. The ground-floor retail space for the office building will be oriented to a plaza area proposed in the southwest portion of the site adjacent to 19th Street South. The residential/hotel building

has been designed with a transition between the uses occurring at the twelfth floor. Parking for the office building will be composed of standard, compact, tandem stacker, and accessible parking spaces located in the below grade parking structure. Parking for the residential component of the residential/hotel building will be accommodated through an automated parking system that will store the vehicles on the fourth floor while the hotel patrons will utilize standard and tandem parking spaces located in the below grade parking structure. The existing Rosslyn Gateway North office building will be provided with existing parking, though in a reduced capacity. The proposed heights of the buildings will permit a taper in height from the central portion of Rosslyn northward towards Gateway Park. In addition, the residential/hotel building will have terraces located above the fourth and twenty-fourth floors. Both buildings have been designed to employ a glass curtain façade for each elevation.

DISCUSSION

Modification of Use Regulations: The following modifications to Zoning Ordinance requirements are requested with the subject site plan proposal:

- Parking Ratios (office, hotel and residential)
- Parking Space Types (tandem, stacker and automated spaces)
- Landscaped Open Space
- Gross Floor Area Exclusions for Below Grade Storage

Approved Policies and Plans: Section 25B of the Zoning Ordinance and the Rosslyn Station Area Plan Addendum set forth guidance for the redevelopment of the subject site.

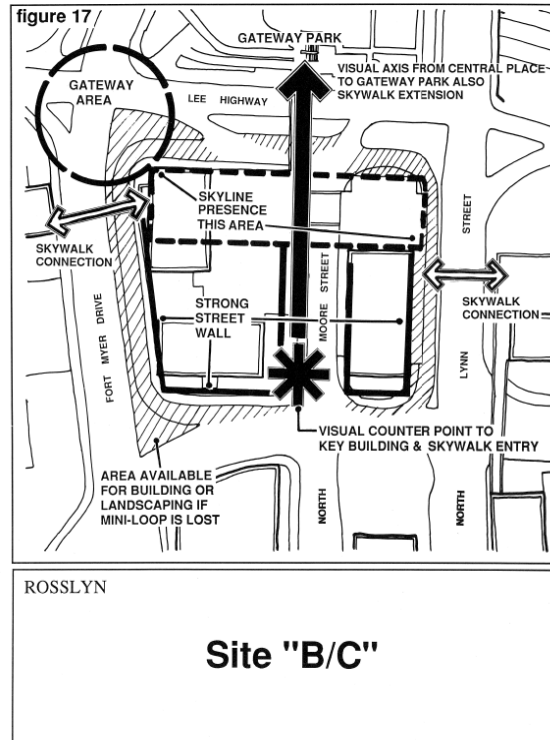
1992 Rosslyn Station Area Plan Addendum. Adopted in 1992, the Rosslyn Station Area Plan Addendum is the latest sector plan document adopted for Rosslyn and has provided general guidance for planning and development decisions in Rosslyn over the past two decades. The overarching vision outlined in the 1992 Addendum is a future Rosslyn that: will serve as a proud gateway into Arlington and Virginia; is a vibrant place to live, work, shop, recreate, and enjoy culture; is a premier office location that is home to regional and national corporate headquarters; has superior architecture and urban design; and is a comfortable place that serves as a great stage for human activities. In order to achieve this vision, the document identifies a list of more specific goals for the entire Rosslyn area:

- Create a “central place” which serves as the physical and social heart of Rosslyn;
- Restructure and enhance retail, restaurant and entertainment facilities;
- Integrate the sidewalks and skywalks into a comprehensive pedestrian circulation system which links all the major components of Rosslyn (residential, office and retail) into a unified whole;
- Greatly improve access to the Potomac River and to nearby National Parks and Monuments both physically and visually;
- Create a more urban form where buildings relate well to one another and to the street and exemplify good architectural and urban design practice;
- Enhance entries from both within and without Arlington;

- Increase opportunities for housing within the core of Rosslyn;
- Unify and improve parks, open spaces and cultural facilities;
- Provide an integrated system of transportation which emphasizes a multi-modal approach;
- Expand and enhance Rosslyn's hotel resources; and
- Finally, but certainly not least, develop an office inventory which is both more cosmopolitan and more competitive in the marketplace.

In addition to the broader goals for Rosslyn above, the 1992 Addendum provides site specific guidelines for a number of locations throughout Rosslyn. The 1992 Addendum provides site specific guidance for the subject site, which is identified as Site B/C in the document (including the block to the east between Moore and Lynn Streets). While some of the specific guidance is less relevant due to changes resulting from approved or built projects, several of the detailed recommendations for the block still apply. Listed below (and depicted in the supporting graphic) are a number of specific recommendations for the block:

- Providing a much more complete urban design composition;
- Contributing to a much improved skyline and image for Rosslyn;
- Potential elimination of the contra-flow, mini-loop roads around the block, providing additional sidewalk width and buildable area;
- Creation of additional housing in the core of Rosslyn;
- Continuation and/or improvement of through-block access and visual axis to Gateway Park; and
- Establishment of strong street walls on all or most adjacent streets.



2012 Rosslyn Sector Plan Addendum: This fall, Arlington County will be initiating a planning process to develop a 2012 update to the 1992 Rosslyn Sector Plan Addendum. The 2012 Addendum planning effort will focus primarily on addressing several challenges the area has continued to face since the adoption of the 1992 Addendum. More specifically, the main purpose of the 2012 Addendum will be to address the following four key issues in Rosslyn: urban design, building height, multimodal transportation systems, and urban parks and open space. This study will build upon the 1992 Addendum as a foundation, since the vision and much of the guidance provided in that document is still relevant, and therefore will not involve a comprehensive overhaul of the entire 1992 Addendum. Ultimately the process will culminate with a 2012 Addendum document that provides updated strategies and recommendations to successfully address the four identified problem areas above. The main objectives of this work are:

- To build upon the community vision and plan described in the 1992 Rosslyn Station Area Plan Addendum;
- To understand and analyze existing conditions in the neighborhood in order to develop an urban design framework that will help make Rosslyn a more attractive and functional place;
- To establish a more specific, deliberate, and preferred building heights strategy;
- To examine the area's multimodal transportation system issues, opportunities, and needs; to bring the system into alignment with the County's current policies as set forth in its Master Transportation Plan; and to improve the system appropriately to become an integral component of the urban design framework for Rosslyn;

- To develop a more cohesive and functional parks and open space network to meet the recreational needs of Rosslyn while enhancing its public realm;
- To update, as needed, any policies outlined in the 1992 Addendum that are effectively out-of-date and should be revised to reflect current County policy;
- To actively facilitate a civic engagement process with diverse stakeholders to establish an inclusive, participatory planning process; and
- To integrate the products resulting from addressing the objectives above into a 2012 Addendum that can help guide the County's decision-making process regarding future redevelopment projects in Rosslyn.

While the study will begin in the next few months, several pre-planning steps for this study have been completed or are in progress. In June 2011, the County Board approved a scope of work document outlining the key issues and questions to be addressed through the course of the 2012 Rosslyn Sector Plan Addendum process. In September 2011, the County Board will consider approval of a proposed community process for the study, which will detail a general approach and structure for how the community will be engaged throughout the process to help formulate plan recommendations. The current project schedule anticipates a kick-off public meeting in Fall 2011, with a target for the study's completion in Fall 2012.

Issues: The first SPRC meeting for the Rosslyn Gateway project is intended to serve as an introduction to the proposed PDSP and site plan (SP #419). Subsequent staff reports for future SPRC meetings will provide greater analysis of the development proposal and issues presented with these requests.

SPRC Neighborhood Members:

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Interested Parties:

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Planning Commissioner Chairing This Item:

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