

## IV. Building Envelope Standards

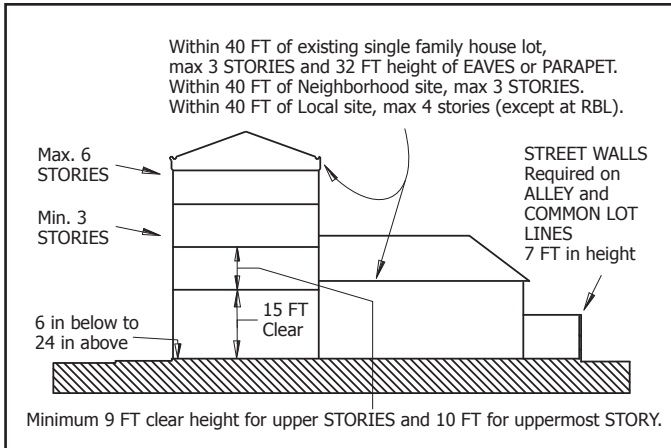
The REGULATING PLAN identifies the BUILDING ENVELOPE STANDARDS (BES) for all building sites within the Columbia Pike Revitalization District. The goal of the BUILDING ENVELOPE STANDARDS is the creation of a healthy and vital public realm through good STREET space. Deviations from the BUILDING ENVELOPE STANDARDS can be approved through a Special Exception Process as provided for in Section VII. Administration of this **Code** and in Sections 20 and 36 of the Zoning Ordinance. The BUILDING ENVELOPE STANDARDS set the basic parameters governing building construction, including the building envelope (in three dimensions) and certain required/permitted elements, such as BALCONIES, STOOPS, and STREET WALLS.

### A. General Guiding Principles

1. Buildings are aligned and close to the STREET.  
Buildings form the space of the STREET.
2. The STREET is a coherent space, with consistent building forms on both sides of the STREET.  
This agreement of buildings facing across the STREET contributes to a clear public space and community identity.
3. Buildings oversee the STREET (and SQUARE) with active fronts.  
This overview of the STREET contributes to vital and safe public space.
4. Property lines are physically defined by buildings or STREET WALLS.  
Land should be clearly public or private—in public view and under surveillance or private and protected.
5. Buildings are designed for towns and cities.  
Rather than being simply pushed closer together, as in many suburban developments, buildings must be designed for the urban situation within towns and cities. Views are directed to the STREET and the garden/courtyard, not toward the neighbors.
6. Vehicle storage, garbage and mechanical equipment are kept away from the STREET.
7. Retail on the GROUND FLOOR (for MAIN STREET locations).  
Retail helps to make the STREET active and interesting.
8. Parking (not including on-street parking) should be away from the STREETS and shared by multiple owners/users.
9. Historic Character.  
Those structures that have historic character should be preserved in some manner or their elements incorporated in the redevelopment of their site.

## B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

### 1. Height Specifications



#### **Building Height**

1. Principal building height is measured in STORIES. These parameters preserve appropriate STREET-space and allow for greater variety in building height.

2. Each building shall be between 3 and 6 STORIES in height, except where otherwise noted here or in the REGULATING PLAN.

#### **Parking Structure Height**

No parking structure within the BLOCK shall exceed the EAVE height of any building (built after 2002) within 40 feet of the parking structure.

#### **GROUND STORY Height**

1. The GROUND STORY floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR is 24 feet.

2. The GROUND FLOOR shall have at least a 15 foot clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

#### **Upper STORIES Height**

1. The maximum floor-to-floor STORY HEIGHT limit for STORIES other than the GROUND STORY is 14 feet.

2. At least 80 percent of the upper STORIES shall each have at least a 9 foot clear (floor to ceiling) height and a minimum 10 foot clear height for the uppermost STORY.

#### **Mezzanines**

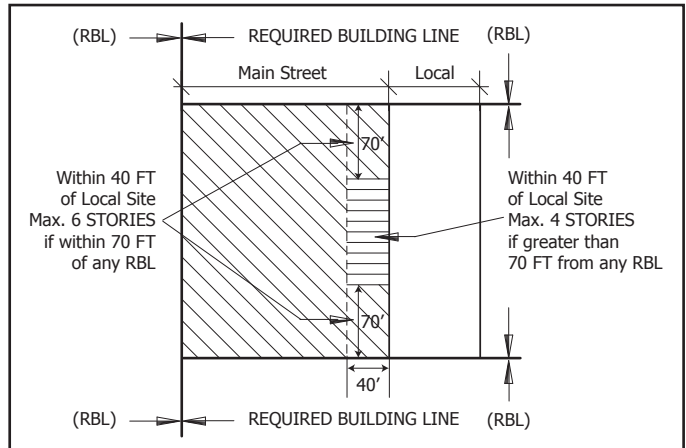
Mezzanines greater than 2/3 of the floor area footprint shall be counted as full STORIES.

#### **STREET WALL Height**

1. Any unbuilt ALLEY and/or COMMON LOT LINE frontage shall have a STREET WALL built along it, 7 feet in height.

2. STREET WALL heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting on a sidewalk.

### 1. Height Specifications (continued)<sup>12A</sup>



#### **Other<sup>12A</sup>**

Notwithstanding the provisions in Section III.A.6.1, except where a lower height is required by the Regulating Plan, where any portion of a Main street site is within 40 feet of:

1. A Local or LIVE-WORK site (excluding LIVE-WORK\* sites), the maximum height for that portion is no more than 4 STORIES, unless that portion is also no more than 70 feet from an RBL, in which case the maximum height is no more than 6 STORIES.

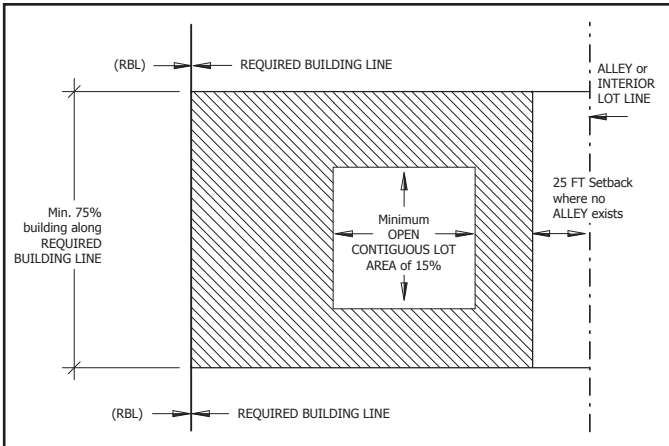
2. A Neighborhood site, the maximum height for that portion is no more than 3 STORIES.

3. An existing single-family lot, the maximum height for that portion is 32 feet to the EAVES or PARAPET, and no more than 3 STORIES.

12A - Columbia Pike Form Based Code Amendment adopted on April 16, 2011

## B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

### 2. Siting Specifications



#### **STREET Facade**

1. The STREET facade shall be built to not less than 75 percent of the overall RBL. However, the GROUND FLOOR portions of the STREET facade within 7 feet of a BLOCK CORNER are exempt from this requirement in order to allow special corner treatments in these areas.
2. The STREET facade shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement) interrupted only by PORCHES, STOOPS, BAY WINDOWS, shop fronts and BALCONIES.<sup>11C</sup>

#### **BUILDABLE AREA**

Buildings shall occupy only the area of the LOT specified in the siting specifications of the BUILDING ENVELOPE STANDARDS as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, STOOPS, and shop fronts shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 15% of the total BUILDABLE AREA of the site.

#### **Side Lot Line**

There are no required side LOT line setbacks unless shared with an existing single family house where an 8-foot setback is required.

#### **Garage and Parking Entrances**

1. Garage/parking entrances shall be no closer than 50 feet from any BUILDING CORNER or 100 feet from any BLOCK CORNER (except where otherwise designated on the REGULATING PLAN).
2. Designated GARAGE ENTRIES and ALLIES shall be the sole means of automobile access to a site.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL. Vehicle parking areas (except where a STREET WALL exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-STREET parallel parking.

#### **ALLEYS**

On sites with no ALLEY access, there shall be a 25-foot setback from the rear LOT line.

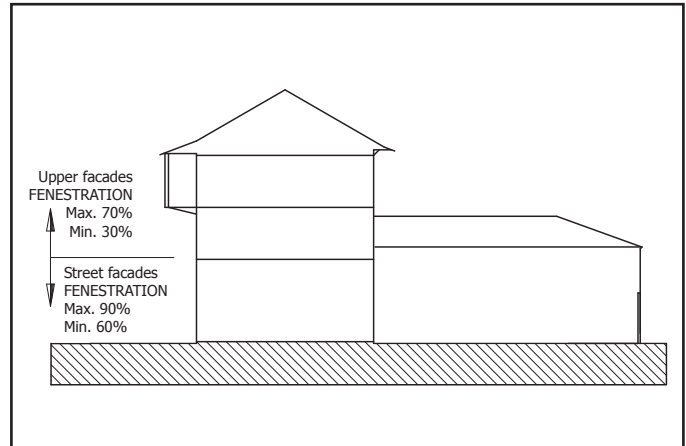
#### **Corner Lots**

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

#### **Unbuilt RBL and COMMON LOT LINE Treatment**

Any unbuilt RBL shall have a STREET WALL along it, between 6 feet and 10 feet in height. STREET WALLS may also be constructed along any unbuilt COMMON LOT LINE.

### 3. Elements Specifications



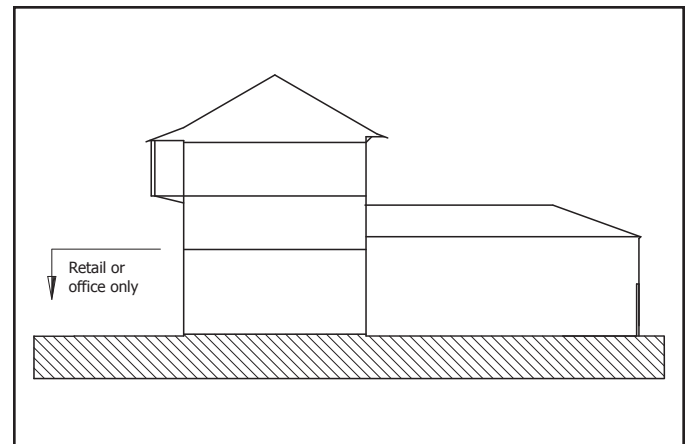
#### **GROUND STORY-FENESTRATION**

The GROUND STORY facade shall have between 60 percent and 90 percent FENESTRATION (measured as a percentage of the facade that is between 2 and 10 feet above the fronting sidewalk). AWNINGS and overhangs are encouraged (except where otherwise designated on the REGULATING PLAN).

#### **Upper STORIES-FENESTRATION**

Upper STORY facades shall have between 30 percent and 70 percent FENESTRATION (measured for each STORY as a percentage of the facade that is between 3 and 9 feet above the finished floor).

### 4. Use Specifications



#### **GROUND STORY**

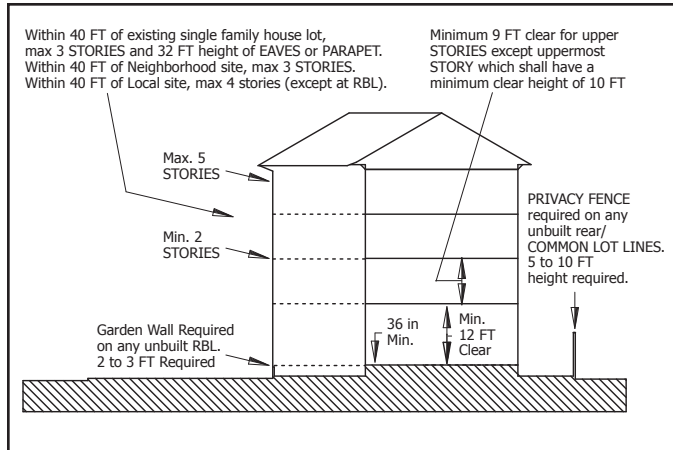
1. The GROUND STORY shall house retail uses as defined in Section III. B. 5. Retail as well as lobby and access for upper STORY uses.
2. There shall be functioning entry door(s) along the STREET facade at intervals not greater than 60 feet within any site.

#### **Upper STORIES**

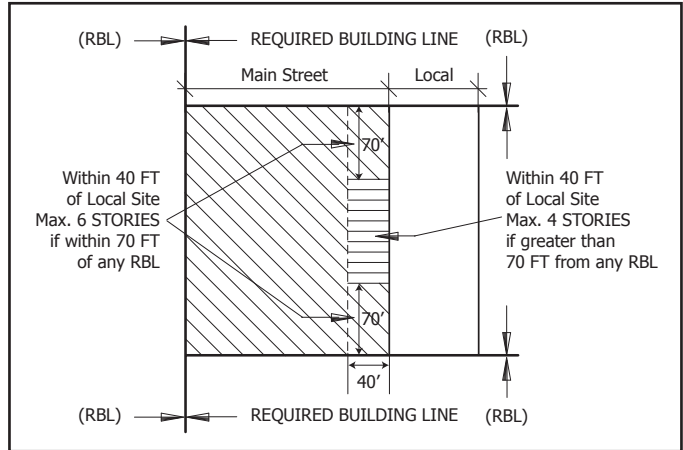
Retail uses are not permitted on the upper STORIES (except those of less than 900 square feet and/or second STORIES as an extension of the GROUND STORY use and with direct Columbia Pike frontage). Second STORY restaurants do not violate this rule. Business and professional offices including medical, legal, insurance, philanthropic, real estate, banking, and other offices which in the judgement of the Zoning Administrator with a recommendation from the ADMINISTRATIVE REVIEW TEAM are of the same general character as those listed above may be located on all floors of MAIN STREET sites.

## C. BUILDING ENVELOPE STANDARDS: AVENUE SITES

### 1. Height Specifications



### 1. Height Specifications (continued) <sup>12B</sup>



#### **Building Height**

1. Principal building height is measured in STORIES.
2. Buildings shall be between 2 and 5 STORIES in height, except where otherwise noted here or in the REGULATING PLAN.

#### **Parking Structure Height**

No parking structure within the BLOCK shall exceed the EAVE height of any building (built after 2002) within 50 feet of the parking structure.

#### **GROUND STORY Height**

1. The GROUND STORY finished floor elevation of any residential unit shall be no less than 36 inches above the fronting sidewalk.
2. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR STORY is 24 feet.
3. No less than 80 percent of the GROUND FLOOR STORY shall have at least 12 feet in clear height.

#### **Upper STORIES Height**

1. The maximum floor-to-floor STORY HEIGHT limit for STORIES is 14 feet.
2. At least 80 percent of the upper STORIES shall each have at least a 9 feet clear (floor to ceiling) height and a minimum 10 feet clear height for the uppermost STORY.

#### **Mezzanines**

Mezzanines greater than 1/3 of the floor area footprint shall be counted as full STORY.

#### **Other <sup>12B</sup>**

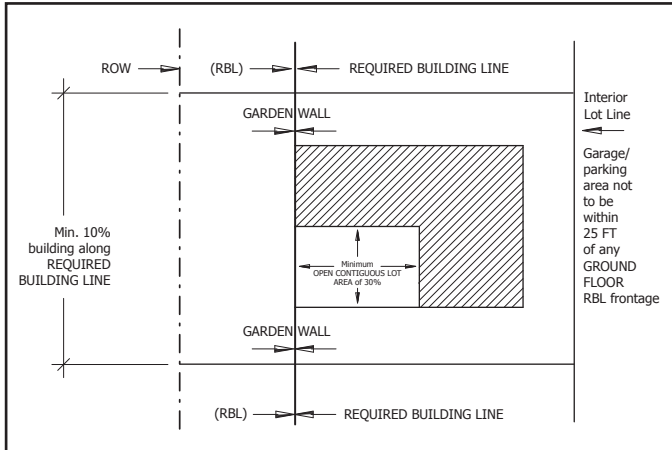
Notwithstanding the provisions in Section III.A.6.1, except where a lower height is required by the Regulating Plan, where any portion of a Main street site is within 40 feet of:

1. A Local or LIVE-WORK site (excluding LIVE-WORK\* sites), the maximum height for that portion is no more than 4 STORIES, unless that portion is also no more than 70 feet from an RBL, in which case the maximum height is no more than 5 STORIES.
2. A Neighborhood site, the maximum height for that portion is no more than 3 STORIES.
3. An existing single-family lot, the maximum height for that portion is 32 feet to the EAVES or PARAPET, and no more than 3 STORIES.

12B - Columbia Pike Form Based Code Amendment adopted on April 16, 2011  
 11D - Columbia Pike Form Based Code Amendment adopted on May 25, 2010

## C. BUILDING ENVELOPE STANDARDS: AVENUE SITES

### 2. Siting Specifications



#### **STREET Facade**

1. The STREET facade shall be built to the RBL not less than 10 percent of the overall RBL.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by PORCHES, STOOPS, BAY WINDOWS, shop fronts and BALCONIES. **11D**

#### **BUILDABLE AREA**

Buildings shall occupy only the area of the LOT specified in the siting specifications of the BUILDING ENVELOPE STANDARDS as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, STOOPS, and shop fronts shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 30 percent of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

#### **Side Lot Line**

There are no required side LOT line setbacks unless shared with an existing single family house where an 8-foot setback is required.

#### **Garage and Parking Entrances**

1. Any garage and/or parking areas for vehicles (autos, trailers, boats, etc.)-except where parking is located in an ancillary structure, enclosed in a rear-loading town-house garage, or in a below grade garage-on private property shall not be located within 25 feet from any RBL and shall be screened from the STREET by a STREET WALL.
2. Parking access shall be from an alley where present. Designated GARAGE ENTRIES and Alleys shall be the sole means of automobile access to a site unless otherwise approved by the Zoning Administrator with a recommendation from the ADMINISTRATIVE REVIEW TEAM.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.
4. These requirements are not applicable to on-street parallel parking.

#### **ALLEYS**

On sites with no ALLEY access, there shall be a 25-foot setback from the rear LOT line.

#### **CORNER LOTS**

CORNER LOTS shall be treated as having STREET FRONTAGE on both the front and side streets (or RBLs).

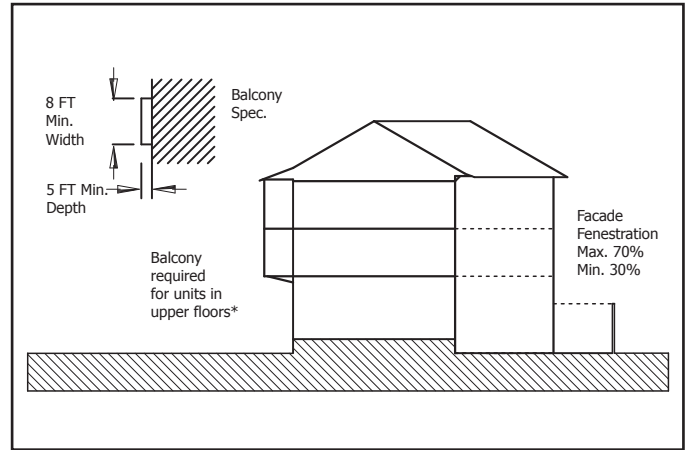
#### **Unbuilt RBL, Rear, and/or COMMON LOT LINE Treatment**

Any unbuilt RBL shall have a GARDEN WALL along it, between 2 feet and 3 feet in height. Any unbuilt rear or COMMON LOT LINE that is located more than 15 feet behind the RBL may have a PRIVACY FENCE along it that is 7 feet in height.

#### **Other**

The BUILDING ENVELOPE STANDARDS for Local Sites may be utilized on AVENUE SITES

### 3. Elements Specifications



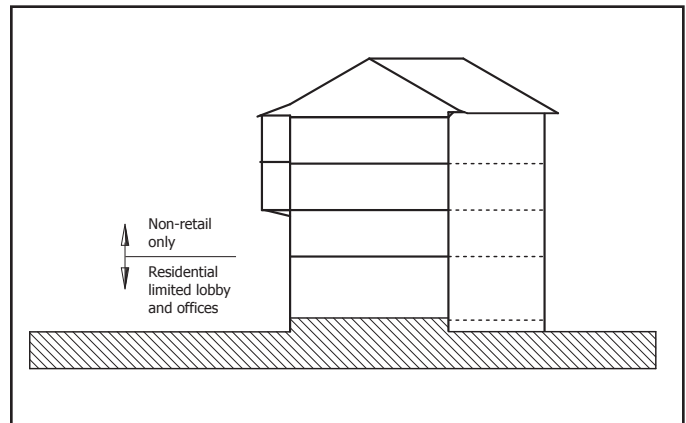
#### **FENESTRATION**

FENESTRATION shall be between 30 percent and 70 percent of all RBL building facades (when measured as a percentage of the area of each facade and STORY between 3 and 9 feet above the finished floor). Blank lengths of wall along any RBL facade of more than 20 linear feet are prohibited.

#### **BALCONIES**

When provided, BALCONIES are required to be a minimum of 5 feet deep and 8 feet wide (except where the RBL is within 8 feet of a right of way).

### 4. Use Specifications



#### **GROUND STORY**

A GROUND FLOOR may include residential uses and have small professional office, building lobby, or building manager's/maintenance offices (each less than 1,000 square feet). [Retail uses are permitted on a GROUND FLOOR where the underlying zoning is zoned commercial "C" or where properties are zoned "CP-FBC".]

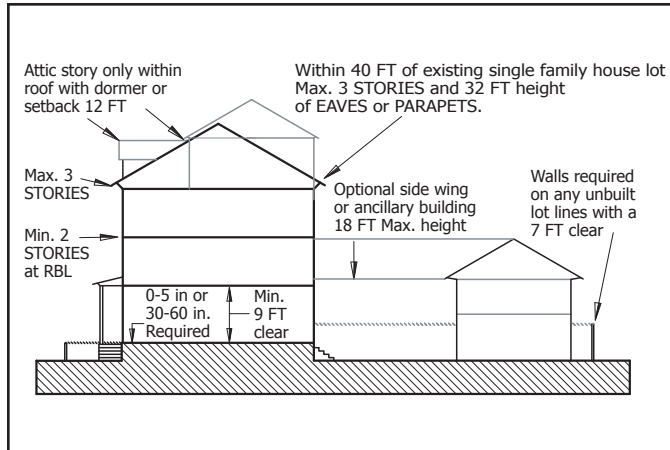
#### **Upper STORIES**

Retail uses are not permitted on the upper STORIES. However business and professional offices including medical, legal, insurance, philanthropic, real estate, banking and other offices which in the judgement of the Zoning Administrator with a recommendation from the ADMINISTRATIVE REVIEW TEAM are of the same general character as those listed above may be located on the second floor.

11D - Columbia Pike Form Based Code Amendment adopted on May 25, 2010

## D. BUILDING ENVELOPE STANDARDS: LOCAL SITES

### 1. Height Specifications



#### Building Height

1. Principal building height is measured in STORIES.
2. Buildings shall be between 2 and 3 STORIES in height. Additionally, an attic STORY may be built. An attic or half STORY is any top STORY which achieves its minimum clear height between 8 and 12 feet behind the RBL. An attic or half-STORY may have DORMER windows which face the street.

#### GROUND STORY Height

1. The GROUND STORY finished floor elevation of each residential LOCAL STREET BUILDING shall be between 0 and 5 inches or 36 and 60 inches above the fronting sidewalk. The finished floor elevation for LIVE-WORK development shall be between 0 and 18 inches above the fronting sidewalk. <sup>11E</sup>
2. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR is 14 feet.
3. The GROUND STORY shall have at least 9 feet in clear height for at least 80 percent of its area. The GROUND STORY of LIVE-WORK development shall have at least 12 feet clear height for a depth of at least 1/3 of its floor area contiguous to each frontage adjacent to an RBL. <sup>11E</sup>

#### Upper STORIES Height

1. All STORIES shall have at least 9 feet in clear height for at least 80 percent of their area. <sup>11E</sup>
2. The maximum floor to floor STORY HEIGHT limit for upper STORIES is 12 feet.

#### Mezzanines

Mezzanines greater than 2/3 of the floor area footprint shall be counted as a full STORY.

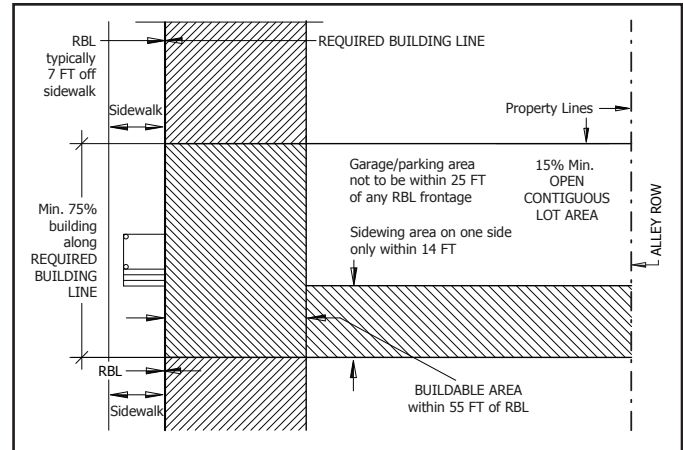
#### STREET WALL and fence height

1. Any unbuilt RBL shall have a STREET WALL built along it and any unbuilt COMMON LOT LINE shall have a PRIVACY FENCE along it, 7 feet in height.
2. STREET WALL heights are measured relative to the adjacent sidewalk or ground elevation when not fronting a sidewalk.

#### Other <sup>12C</sup>

Notwithstanding the provisions in Section III.A.6.1, where any portion of a Local site is within 40 feet of an existing single-family house lot, the maximum height for that portion is 32 feet and no more than 3 STORIES to the EAVES or PARAPET.

### 2. Siting Specifications



#### STREET Facade

1. The STREET facade shall be built to not less than 75 percent of the overall RBL. However, at the GROUND FLOOR, portions of the STREET facade within 7 feet of a BLOCK CORNER are exempt from this requirement in order to allow special corner treatments in these areas.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by PORCHES, STOOPS, BAY WINDOWS, shop fronts and BALCONIES. <sup>11E</sup>

#### BUILDABLE AREA

Buildings shall occupy only the area of the LOT specified on the REGULATING PLAN as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, STOOPS, and shop fronts shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 15 percent of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

#### Side Lot Line

There are no required side LOT line setbacks unless shared with an existing single family house where an 8-foot setback is required.

#### Garage and Parking Entrances

1. Any garage and/or vehicle (autos, trailers, boats, etc.) parking areas - except where parking is located in an ancillary structure, enclosed in a rear-loading town-house garage, or in a below grade garage - on private property shall not be located within 25 feet from any RBL (except for basement garages) and screened from the STREET by a STREET WALL.
2. Parking access shall be from an ALLEY where present. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of automobile access to a site unless otherwise approved by the ADMINISTRATIVE REVIEW TEAM.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.
4. These requirements are not applicable to on-STREET parallel parking.

#### ALLEYS

On sites with no ALLEY access, there shall be a 12 foot setback from the rear LOT line.

#### Corner LOTS

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

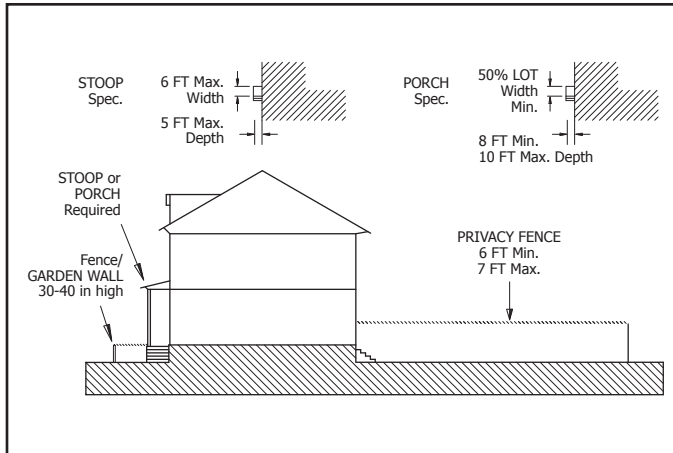
#### Lot/Dwelling Unit Width

The LOT/dwelling unit width shall be between 16 feet and 32 feet. No more than 1/3 of the LOCAL STREET BUILDINGS within a development proposal shall be less than 18 feet wide. A maximum of 7 LOCAL STREET BUILDINGS or 150 feet (whichever is greater) shall be contiguous as a single attached group of LOCAL STREET BUILDINGS. There shall be a 10 foot gap (gated) between groups of LOCAL STREET BUILDINGS. <sup>11E</sup>

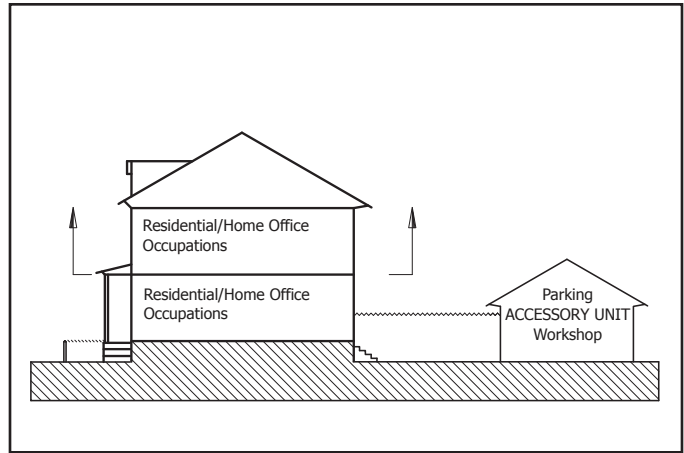
<sup>11E</sup> - Columbia Pike Form Based Code Amendment adopted on May 25, 2010  
<sup>12C</sup> - Columbia Pike Form Based Code Amendment adopted on April 16, 2011

## D. BUILDING ENVELOPE STANDARDS: LOCAL SITES

### 3. Elements Specifications



### 4. Use Specifications



#### STOOPS

1. Each LOCAL STREET BUILDING shall include either no more than one STOOP of not more than 5 feet deep and 6 feet wide (plus steps) which is required to be built forward of the (RBL); or no more than one front PORCH, between 8 feet and 10 feet deep with a width not less than 50 percent of the RBL with the building facade placed an additional 2 feet back from the STREET/RBL. Provided, however, that when the finished floor elevation of the GROUND STORY is between 0 to 5 inches above the grade of the fronting sidewalk, a STOOP is not required, and at least 2 feet of the shy zone (the area adjacent to the building face, at least 2 feet in width) shall be distinguished from the sidewalk by a change in material, color, finish or landscaping when a PORCH is not provided.

2. No more than two entries per STOOP, PORCH or shy zone treatment as described above in STOOPS (1.) shall be permitted and the STOOP, PORCH or shy zone treatment as described above in STOOPS (1.) may provide access to a VESTIBULE. In addition, any LOCAL STREET BUILDING may include an entry on the RBL side of the building into an ENGLISH BASEMENT. No entries are permitted below the GROUND STORY on the RBL side of LOCAL STREET BUILDINGS with a GROUND STORY finished floor elevation of 0 to 5 inches above the fronting sidewalk.

#### Fences/GARDEN WALLS

A fence or GARDEN WALL, 30-40 inches in height, is permitted along the STREET FRONTAGE and along the COMMON LOT LINES of the front yard. Opaque ornamental fencing (not including chain link or any other roll type of fencing), between 6 and 7 feet in height may be placed along any unbuilt rear and COMMON LOT LINES.

#### FENESTRATION

FENESTRATION shall be between 30 percent and 70 percent of all RBL building facades (when measured as a percentage of the area of each facade and STORY between 3 and 8 feet above the finished floor). Blank lengths of wall along any RBL facade of more than 15 linear feet are prohibited.

#### GROUND STORY

A GROUND FLOOR may have residential and home office uses. Where a site is designated LIVE-WORK, the GROUND FLOOR may additionally have small professional office, building lobby, building manager's office, ancillary retail grocery, and cafe uses (each less than 1,200 sf).

#### Upper STORIES

Upper STORIES shall be exclusively for residential and home occupations, as defined by the County. Where a site is designated LIVE-WORK on the REGULATING PLAN, the second STORY may include small professional office uses.

#### LOCAL STREET BUILDINGS <sup>11E</sup>

A LOCAL STREET BUILDING may include up to two dwelling units and an ENGLISH BASEMENT, provided that no stairway or corridor, except a VESTIBULE, shall serve as common access for multiple dwelling units.

#### ACCESSORY UNITS

1. Either one ENGLISH BASEMENT or one ACCESSORY UNIT is permitted, except that an ENGLISH BASEMENT is not permitted where the GROUND STORY finished floor elevation is less than 36 inches above the fronting sidewalk. <sup>11E</sup>

2. Parking and ACCESSORY UNIT (maximum 650 sf) uses are permitted in the building area at the rear of the LOT.

#### Garage/Parking

The garage/parking for vehicles (autos, trailers, boats, etc.) shall be located at least 25 feet away from any RBL (excepting basement garages).

#### The following requirements apply only to LIVE-WORK Designated Sites

1. There is no requirement for a STOOP, PORCH or shy zone treatment as described above in STOOPS (1.). <sup>11E</sup>

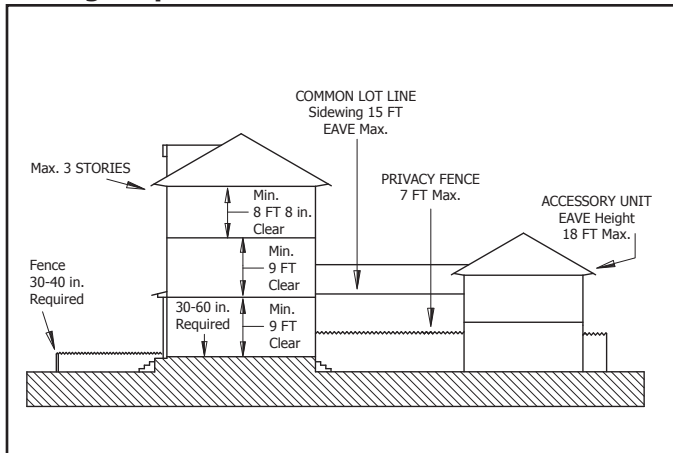
2. There is no front yard fence requirement.

3. The GROUND STORY finished floor elevation shall be between 0 and 18 inches above the adjacent sidewalk elevation and the GROUND STORY shall have a clear height of between 12 and 19 feet.

<sup>11E</sup> - Columbia Pike Form Based Code Amendment adopted on May 25, 2010

## E. BUILDING ENVELOPE STANDARDS: NEIGHBORHOOD SITES

### 1. Height Specifications



#### Building Height

1. Principal building height is measured in STORIES.
2. The building shall be no more than 3 STORIES in height.
3. No accessory building shall be more than 18 feet to its EAVES.

#### GROUND FLOOR and Second STORY Height

1. The GROUND FLOOR finished elevation shall be between 30 and 69 inches above the average RBL elevation. <sup>11F</sup>
2. The maximum floor-to-floor STORY HEIGHT limit for the GROUND FLOOR STORY is 14 feet.
3. The GROUND FLOOR STORY and second STORIES shall have at least 9 feet in clear height for at least 80 percent of the area of the particular STORY. <sup>11F</sup>

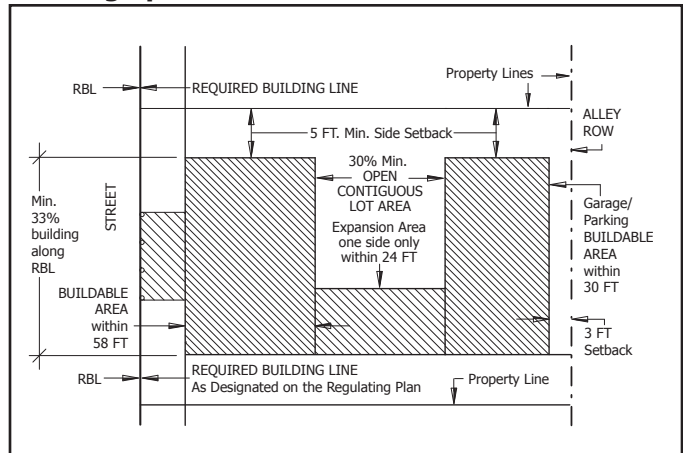
#### Upper STORIES Height

1. The maximum floor-to-floor STORY HEIGHT for upper STORIES is 10 feet.
2. Each STORY above the second STORY shall have at least 8 feet 8 inches in clear height for at least 80 percent of its area.

#### Mezzanines

Mezzanines greater than 2/3 of the floor area footprint shall be counted as full STORIES.

### 2. Siting Specifications



#### STREET Facade

1. The STREET facade shall be built to the RBL not less than 33 percent of the overall RBL.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by PORCHES, STOOPS, BAY WINDOWS, shop fronts and BALCONIES. <sup>11F</sup>

#### BUILDABLE AREA

Buildings shall occupy only the area of the LOT specified on the REGULATING PLAN as BUILDABLE AREA. No part of any building excepting overhanging EAVES and BES permitted BALCONIES, BAY WINDOWS, and STOOPS, shall encroach into the STREET beyond the RBL. No part of any building (excepting overhanging EAVES, BALCONIES, STOOPS, and small and unroofed garden structures) shall occupy the remaining LOT area. The minimum OPEN CONTIGUOUS LOT AREA shall comprise at least 30 percent of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

#### Side Lot Line

The minimum side setback is 5 feet.

#### Garage and Parking Entrances

1. Designated GARAGE ENTRIES shall be the sole means of automobile access to a site, unless otherwise approved by the County.
2. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or street) the RBL. Vehicle parking areas (except where a STREET WALL exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These prohibitions are not applicable to on-STREET parallel parking.
3. Any garage or parking for vehicles (autos, trailers, boats, etc.) shall be kept within the area designated on the SITING SPECIFICATIONS diagram. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.

#### ALLEYS

Where there is no ALLEY at the rear LOT line, there shall be a 12-foot setback.

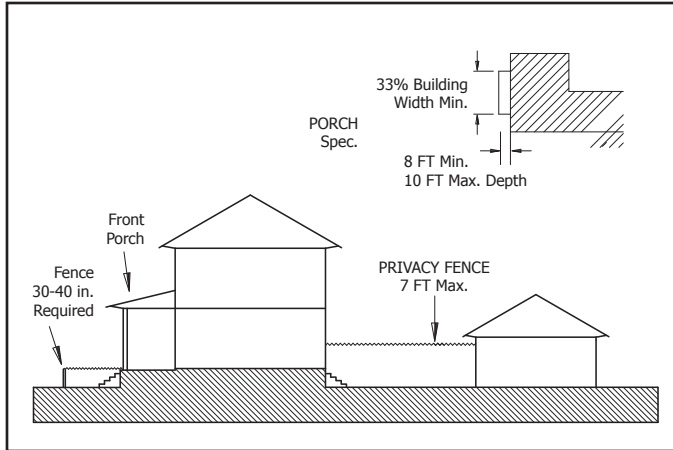
#### Corner LOTS

Corner LOTS shall be treated as having STREET FRONTAGE on both the front and side STREETS (or RBLs).

11F - Columbia Pike Form Based Code Amendment adopted on May 25, 2010

## E. BUILDING ENVELOPE STANDARDS: NEIGHBORHOOD SITES

### 3. Elements Specifications



#### Fences

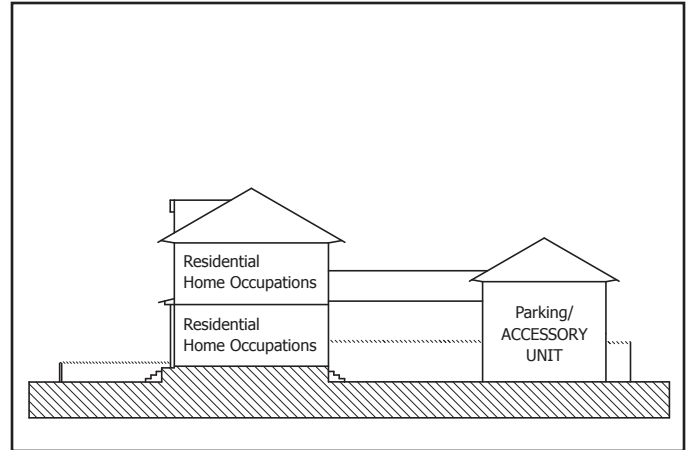
1. An ornamental front yard fence (not to be chain link or any other type of rolled fencing), 30 to 40 inches in height, is required along the STREET frontage and COMMON LOT LINES to at least 10 feet beyond the REQUIRED BUILDING LINE (RBL).

2. A PRIVACY FENCE 7 feet in height, may run the remainder of the rear and COMMON LOT LINES (except within the front yard area which shall have a fence as designated above).

#### Front Porch

A front porch, between 8 feet and 10 feet deep with a width equal to no less than 33 percent of the total building width, is required along and in front of the RBL. For designated LOTS (see the REGULATING PLAN) the front porch is optional.

### 4. Use Specifications



1. Within the primary building, permitted uses include: Home occupations as defined in the Zoning Ordinance (by-right with these exceptions: maximum 2 nonresident employees within the primary structure and/or maximum 1 nonresident employee within 1 accessory structure, for each LOT).

2. Either ENGLISH BASEMENT unit or one ACCESSORY UNIT is permitted. Conversion of primary structure single-family units for multiple family uses is prohibited. <sup>11F</sup>

3. Parking and ACCESSORY UNIT (maximum 650 square feet) uses are permitted in the building area at the rear of the LOT.

**Note:**

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